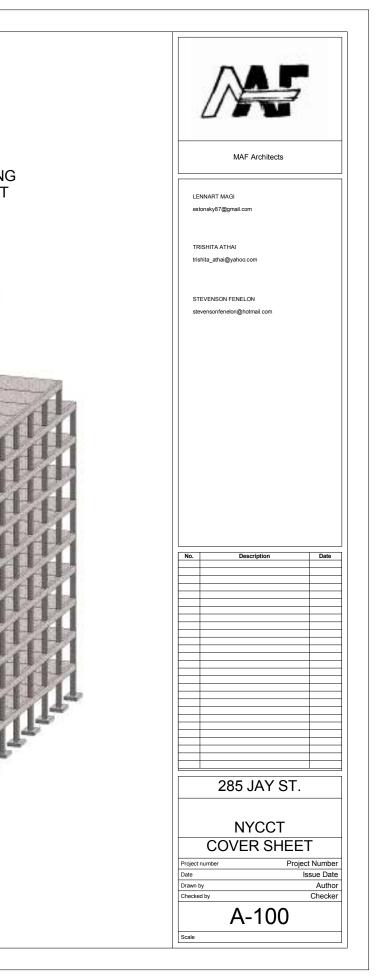
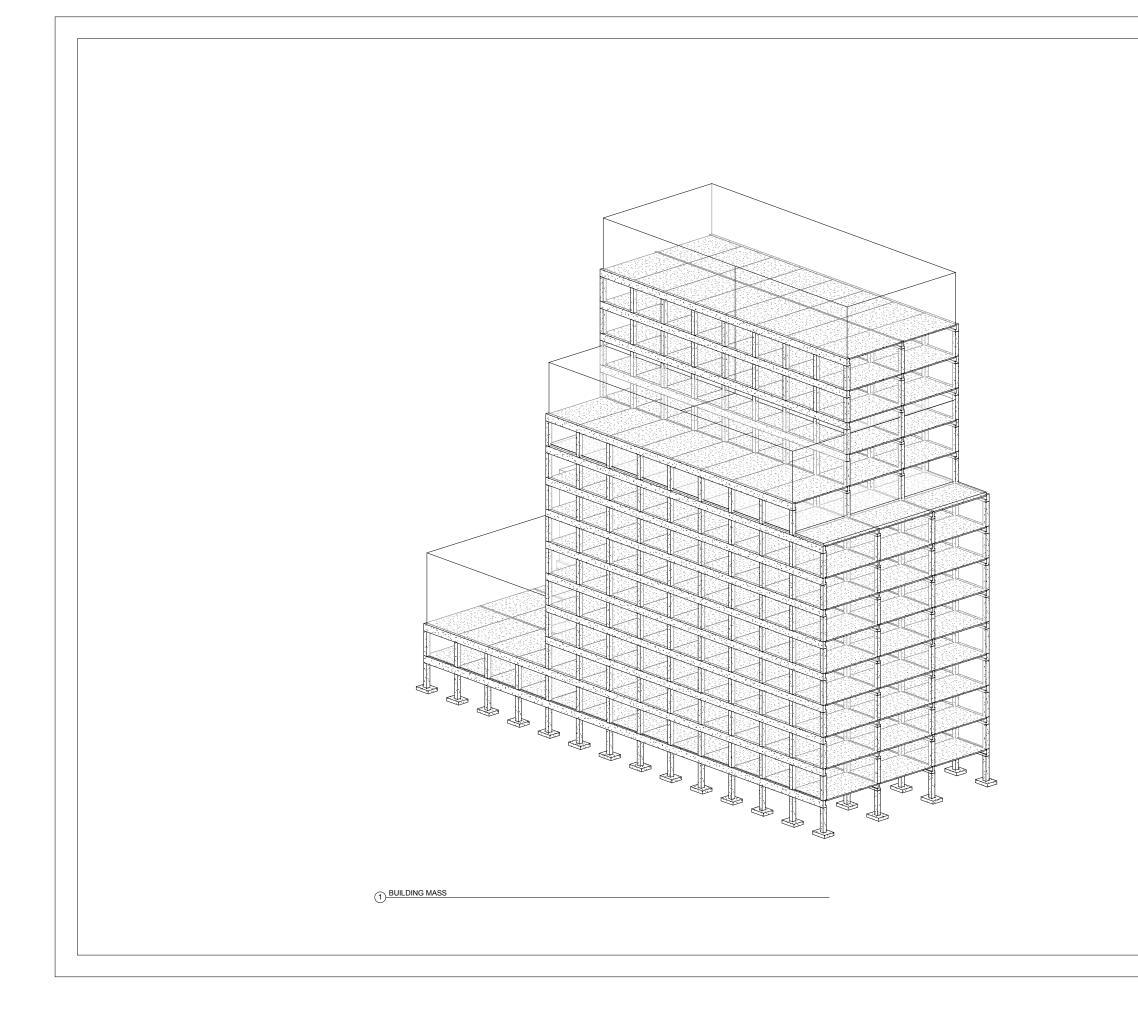


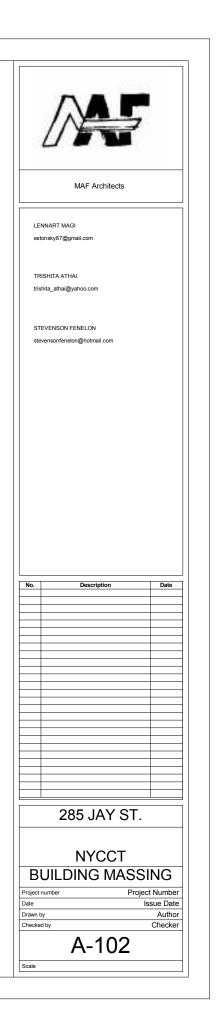
ORDER OF SHEETS:

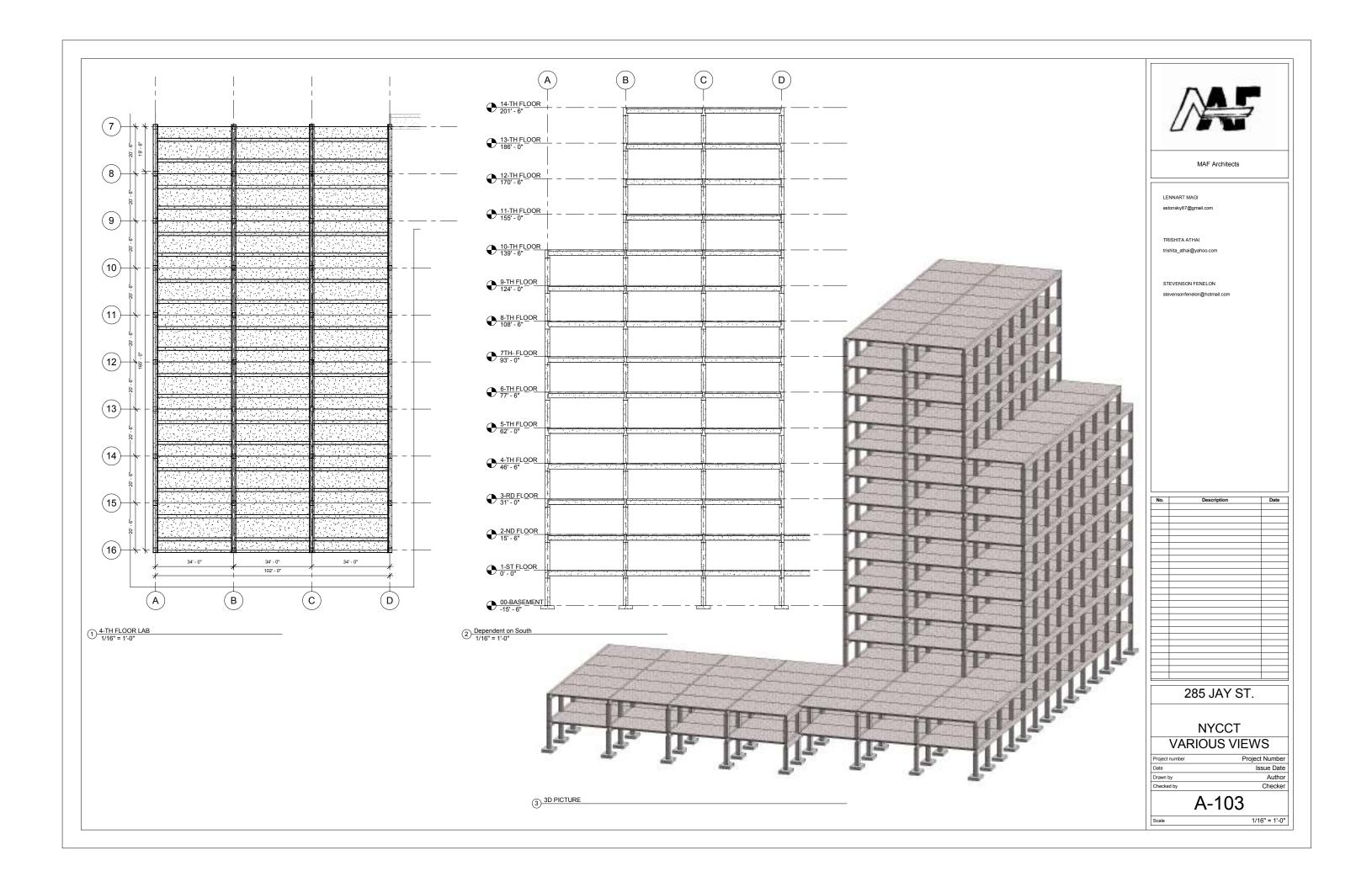
A-100	COVER SHEET
Z-101	ZONING SHEET
Z-101.1	ZONING TEXT
Z-101.2	ZONING TEXT

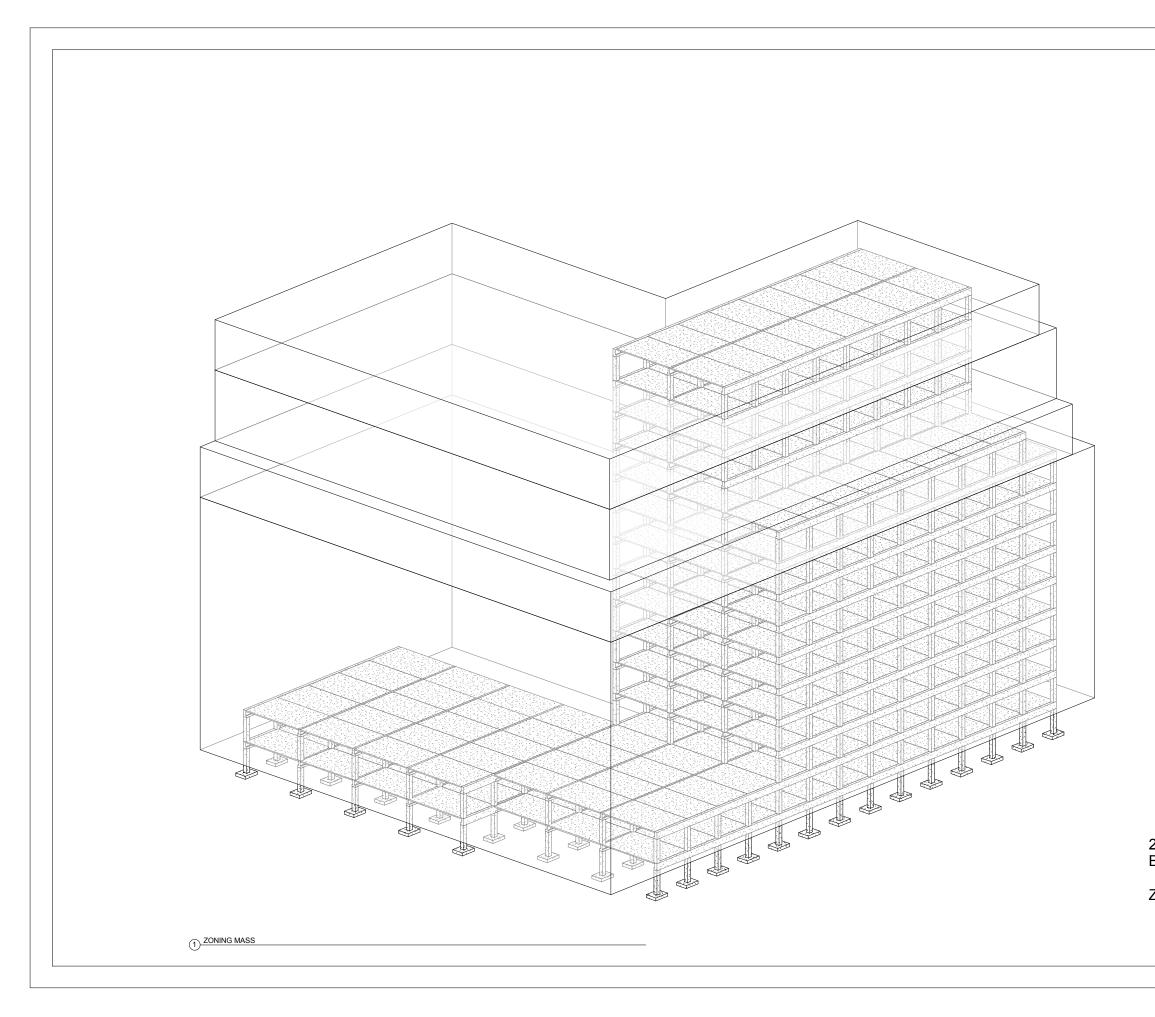
- A-102 SITE BUILDING MASSING A-103 VARIOUS VIEWS SHEET











		MAF Architects	
		INART MAGI nsky87@gmail.com	
		SHITA ATHAI iita_athai@yahoo.com	
		:VENSON FENELON ensonfenelon@hotmail.com	
	No.	Description	Date
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285 JAY STREET BROOKLYN, NY

ZONING: C6-4

ARTICLE1 CHAP 2

12-10 DEFINITIONS STREET NAROW (12/15/61) A "NARROW STREET" IS ANY STREET LESS THAN 75 FEET WIDE.

ARTICLE 2 CHAP 2

22-13 USE GROUP 3

USE GROUP 3 CONSISTS OF COMMUNITY FACILITIES THAT: MAY BE APPROPRIATELY BE LOCATED IN RESIDENTIAL AREAS TO SERVE EDUCATIONAL NEEDS FOR THE RESIDENTS; OR

CAN PERFORM THEIR ACTIVITIES MORE EFFECIVELY IN A RESIDENTIAL ENVIRONMENT. UNAFFECTED BY OBJECTIONABLE INFLUENCES FROM ADJACENT INDUSTRIAL OR GENERAL SERVICE USES; AND

DO NOT CREATE SIGNIFICANT OBJECTIONABLE INFLUENCES IN RESIDENTIAL AREAS.

COMMUNITY FACILITIES

COLLEGES OR UNIVERSITIES, INCLUDING PROFESSIONAL SCHOOLS BUT EXCLUDING BUSINESS COLLEGES OR TRADE SCHOOLS.

COLLEGE OR SCHOOL STUDENT DORMITORIES AND FRATERNITY OR SORORITY STUDENT HOUSES.

DOMICILIARY CARE FACILITIES FOR ADULTS UNDER THE JURISTICTION OF THE NEW YORK BOARD OF SOCIAL WELFARE WHICH HAVE SECURED CERTIFICATION BY SUCH AGENCY.

LIBRARIES. MUSEUMS OR NON COMMERCIAL ART GALLERIES.

MONASTERIES, CONVENTS OR NOVITIATES, WITHOUT RESTRICTION AS TO USE FOR LIVING PURPOSES OR LOCATION IN RELATION TO OTHER USES.

NON-PROFIT HOSPITAL STAFF DWELLINGS LOCATED ON THE SAE ZONING LOT AS THE NON PROFIT OR VOLUNTARY HOSPITAL AND RELATED FACILITIES OR ON A SEPARATE ZONING LOT THAT IS IMMIDIATELY CONTAGUOUS THERETO OR WOULD BE CONTAGUOUS BUT FOR ITS SEPARATION BY STREET OR A STREET INTERSECTION NURSING HOMES AND HEALTH-RELATED FACILITIES AS DEFINED IN SECTION 10 NYCRR 33-14 700.2(a) OF THE NEW YORK STATE HOSPITAL CODE, EACH OF WHICH HAVE SECURED CERTIFICATION BY THE APPROPRIATE GOVERNMENTAL AGENCY.

NURSING HOMES AND HEALTH-RELATED FACILITIES ARE NOT PERMITTED WITHIN THE BOUNDARIES OF ANY COMMUNITY DISTRICT IN WHICH ONE OR MORE OF THE CONDITIONS SET FORTH IN SECTION 22-42 (CERTIFICATION OF CERTAIN COMMUNITY FACILITIES USES) APPLIES EXCEPT BY SPECIAL PERMIT AS SET FORTH IN SECTION 74-90.

PHILANTHROPIC OR NON-PROFIT INSTITUTIONS WITH SLEEPING ACCOMONDATIONS.

ARTICLE 3 CHAP 2

32-655

NO PERMITTED SIGN SHALL EXTEND ABOVE CURB LEVEL AT HEIGHT GREATER THAN THE FOLLOWING C6-4 40 FEET

32-656

NO SIGN DISPLAYED FROM A WALL OF A BUILDING OR OTHER STRUCTURE SHALL EXTEND ABOVE THE PARAPET WALL OR I BUILDING OR OTHER STRUCTURE. EXCEPT THAT A VERTICAL HORIZONTAL WIDTH OF WHICH, PARALLEL TO THE WALL, DOI INCHES, MAY EXTEND NO HIGHER THAN 15 FEET ABOVE THE

32-657

NO SIGNS SHALL BE PERMITTED ON THE ROOF OF ANY BUILD

ARTICLE 3 CHAP 3

33-12

IN ALL DISTRICTS FOR ANY ZONING LOT, THE MAXIMUM FLOO (FAR) SHALL NOT EXCEED THE FAR SET FORTH IN THIS SECT OTHERWISE PROVIDED IN THE FOLLOWING SECTIONS. 33-13 FAR BONUS FOR PUBLIC PLAZA 33-14 FAR BONUS FOR ARCADES

33-15 FAR BONUS FOR FRONT YARDS

33-123

IN DISTRICTS INDICATED, THE MAXIMUM FAR FOR A ZONING I COMMUNITY FACILITY USES, OR A ZONING LOT CONTAINING AND COMMUNITY FACILITY USES, SHALL NOT EXCEED FAR SE FOLLOWING TABLE

C6-4 MAXIMUM ALLOWED FAR 10

33-13

IN THE DISTRICTS INDICATED FOR ZONING LOTS CONTAINING FACILITY USES OR BOTH COMMERCIAL AND COMMUNITY FAC EACH SUARE FOOT OF PUBLIC PLAZA PROVIDED IN ACCORDA 33-70, INCLUSIVE, THE TOTAL FLOOR AREA (FA) PERMITTED C UNDER PROVISIONS OF SECTION 33-12 MAY INCREASE BY 6 F

IN THE DISTRICTS INDICATED, AND IN C1 OR C2 DISTRICTS W WITHIN R9 OR R10 DISTRICT, FOR ZONING LOTS CONTAINING FACILITY USES, FOR EACH SQUARE FOOT OF ARCADE PROVI LOT IN ACCORDANCE WITH THE PROVISIONS OF SECTION 33-FLOOR AREA PERMITTED ON THAT ZONING LOT UNDER PROV 33-12 FOR A ZONING LOT CONTAINING COMMUNITY FACILITY COMMERCIAL AND COMMUNITY FACILITY USES MAY BE INCR FORTH IN THE FOLLOWING TABLES:

C6-4 3 SQUARE FEET EXTRA PER 1 SQUARE FOOT OF ARC

SANITARIUMS.

A	
ROOF OF SUCH SIGN, THE ES NOT EXCEED 28 ROOF LEVEL.	MAF Architects
OR AREA RATIO ION, EXCEPT AS	
LOT CONTAINING BOTH COMMERCIAL ET FORTH IN THE	No. Description Date
GONLY COMMUNITY CILITY USES, FOR ANCE WITH SECTION ON THAT ZONING LOT FEET.	
HEN MAPPED COMMUNITY DED ON A ZONING -80, THE TOTAL /ISIONS OF SECTION USE OR BOTH EASED AS SET CADE.	285 JAY ST. 285 JAY ST. NYCCT ZONING TEXT Project number Date Issue Date Drawn by Author Checked by Checker Z-102.1

33-432 IN OTHER COMMERCIAL DISTRICTS

IN THE DISTRICTS INDICATED, THE MAXIMUM HEIGHT OF A FRONT WALL AND REQUIRED SETBACK OR A BUILDING OR OTHER STRUCTURE, EXCEPTAS OTHERWISE SET FORTH IN THIS SECTION, SHALL BE AS SET FORTH IN THE FOLLOWING TABLE:

INITIAL SETBACK: NARROW STREET 20 FEET. WIDE STREET 15 FEET. INITIAL SETBACK DISTANCE: 85 FEET OR 6 STORIES WI=HICHEVER IS LESS.

SKY EXPOSURE PLANE:

NARROW STREET:2.7 TO 1WIDE STREET:5.6 TO 1

C6-4A C6-4X

INDISTRICTS INDICATED, THE HEIGHT AND SETBACK REGULATIONS OF SECTIONS 33-43 THROUGH 33-457, INCLUSIVE, SHALL NOT APPLY.

MAF Architects	
estonsky87@gmail.com TRISHITA ATHAI trishita_athai@yahoo.com STEVENSON FENELON	
trishita_athai@yahoo.com STEVENSON FENELON	
stevensonfenelon@hotmail.com	
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