



SMALLPOX HOSPITAL, ROOSEVELT ISLAND
STRUCTURAL STABILIZATION SCHEMATIC DESIGN DRAWINGS

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SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY

STRUCTURAL STABILIZATION SCHEMATIC DESIGN

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SCALE PROJECT NO.

165701

DRAWN BY DATE

AL, RS 6/1/2017

TITLE

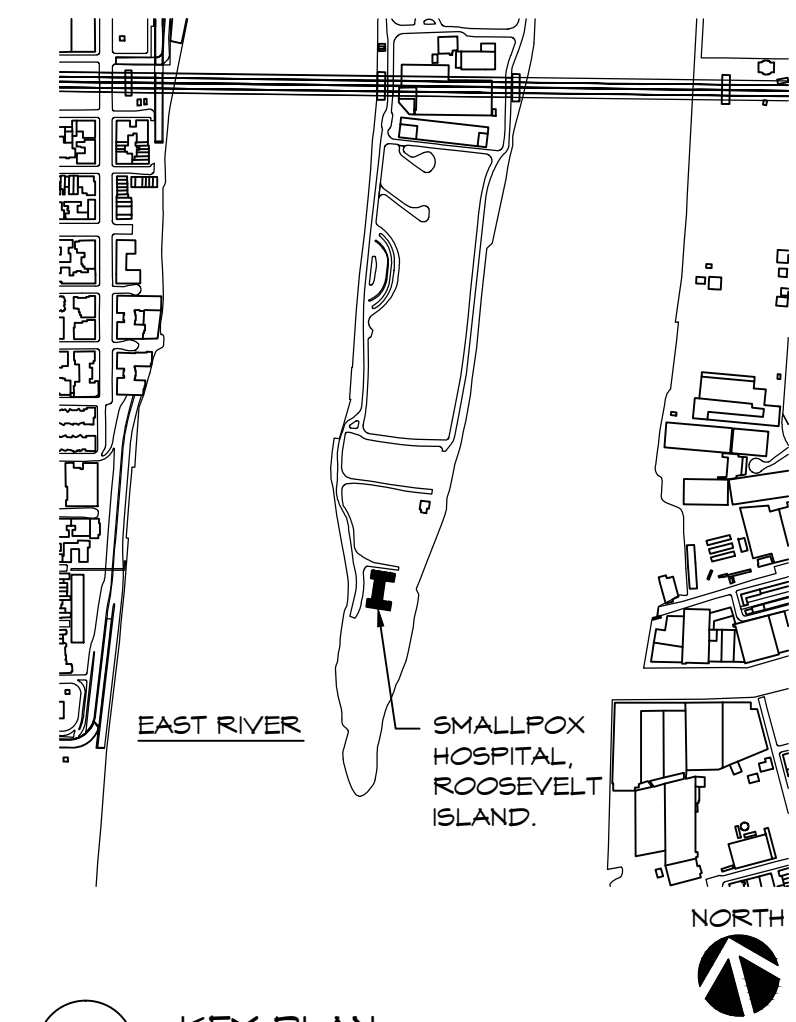
COVER SHEET

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DRAWING NO.

A000.00

01 OF 24

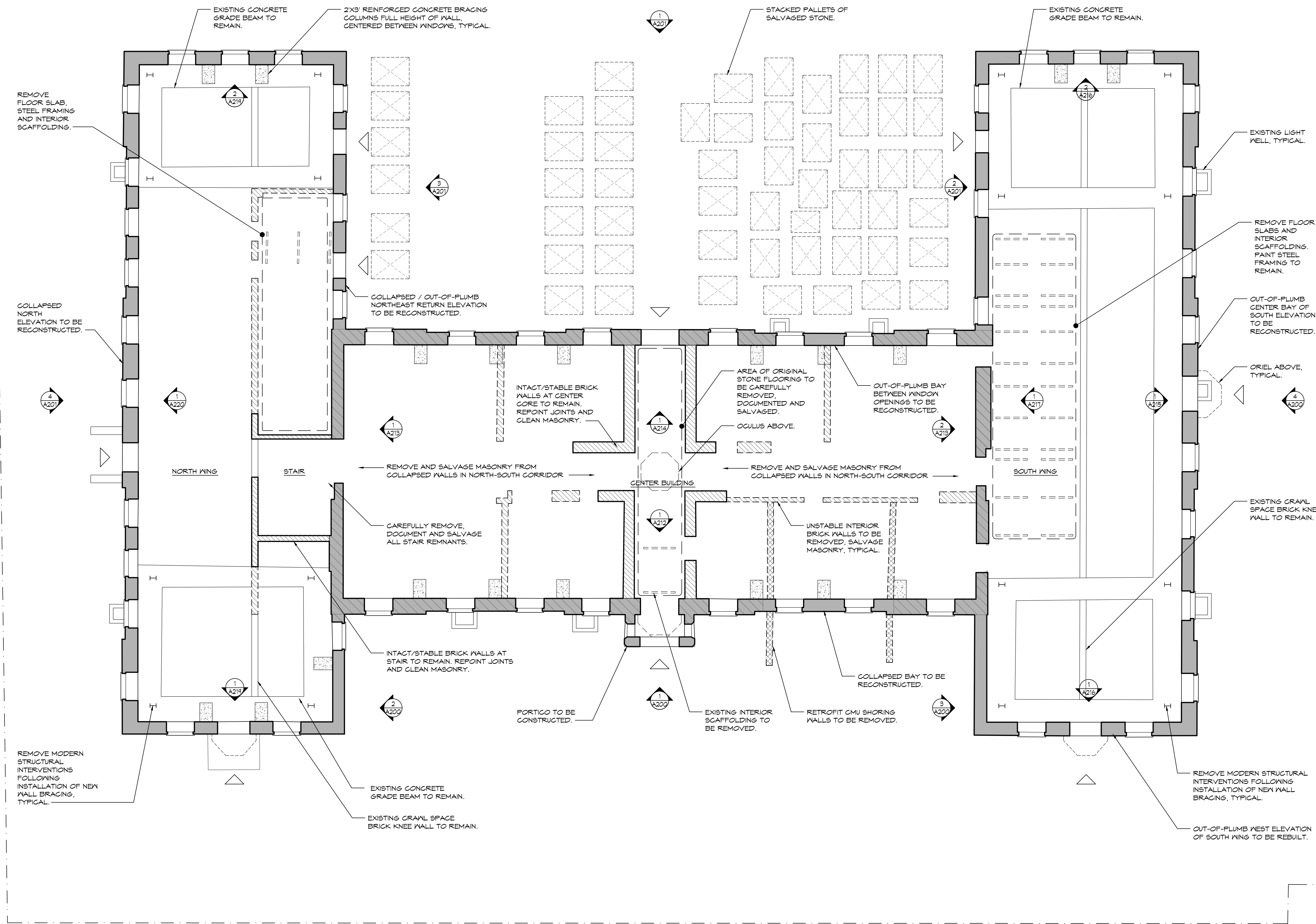
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ONLY



KEY PLAN
NOT TO SCALE

STRUCTURAL STABILIZATION SCHEMATIC DESIGN

SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY



GRAPHIC LEGEND:

I	GALVANIZED STEEL SHORING POST TO BE REMOVED
---	INTERIOR PIPE SCAFFOLD SHORING TO BE REMOVED
- - -	PAINTED STEEL PERIMETER FENCE TO REMAIN
△	ENTRANCE
⊠	STACKED PALLETS OF SALVAGED STONE
■	EXTERIOR MASONRY WALL
▨	AREA OF GROUT INJECTION
▩	INTERIOR BRICK WALL TO REMAIN
▧	INTERIOR BRICK WALL TO BE REMOVED
▦	RETROFIT CMU SHORING WALL/INFILL TO BE REMOVED
■	CONCRETE BRACING COLUMN

1 SITE PLAN
SCALE: 1/8" = 1'-0"



SCALE PROJECT NO.
AS NOTED 165701
DRAWN BY DATE
AL, RS 6/1/2017
TITLE
PLOT PLAN AND SITE PLAN

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DRAWING NO.

A100.00

PROJECT
SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY
STRUCTURAL STABILIZATION SCHEMATIC DESIGN

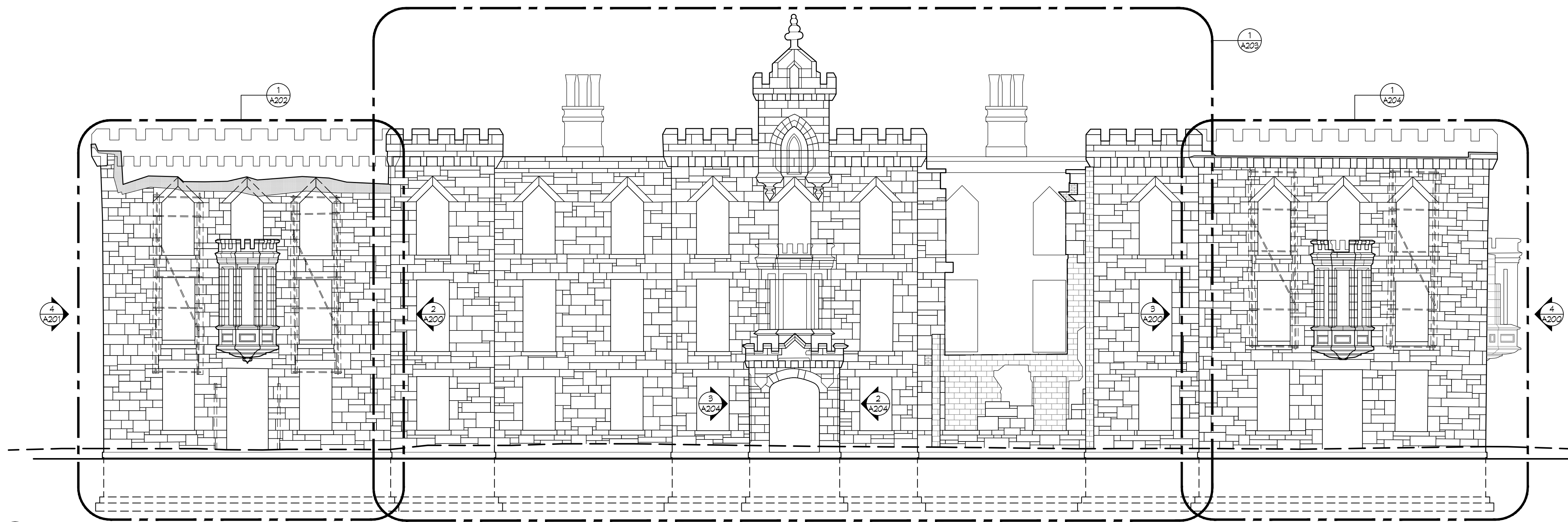
SCALE PROJECT NO.
AS NOTED 165701
DRAWN BY DATE
AL, RS 6/1/2017
TITLE
WEST AND SOUTH
KEY ELEVATIONS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
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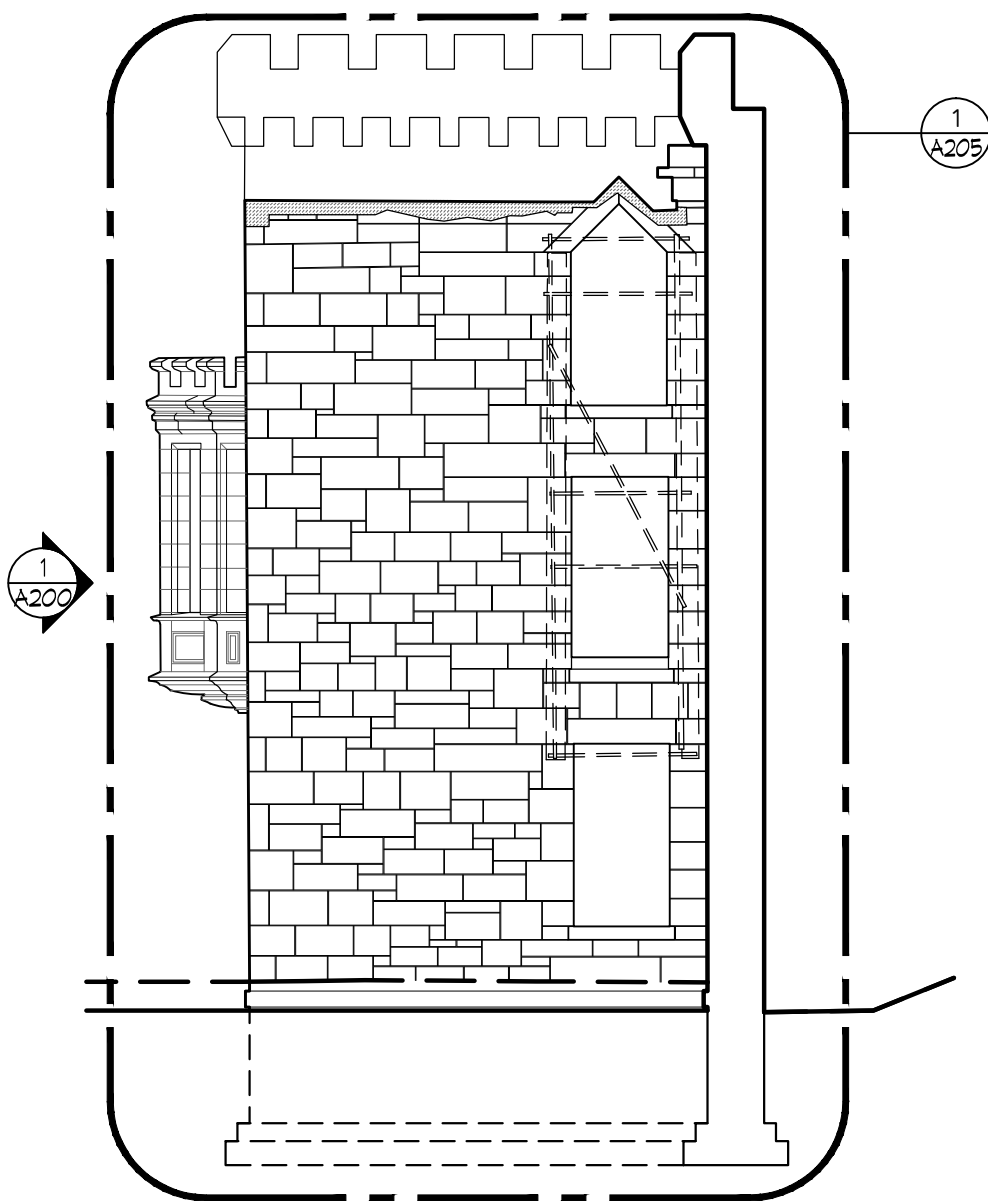
A200.00

03 OF 24

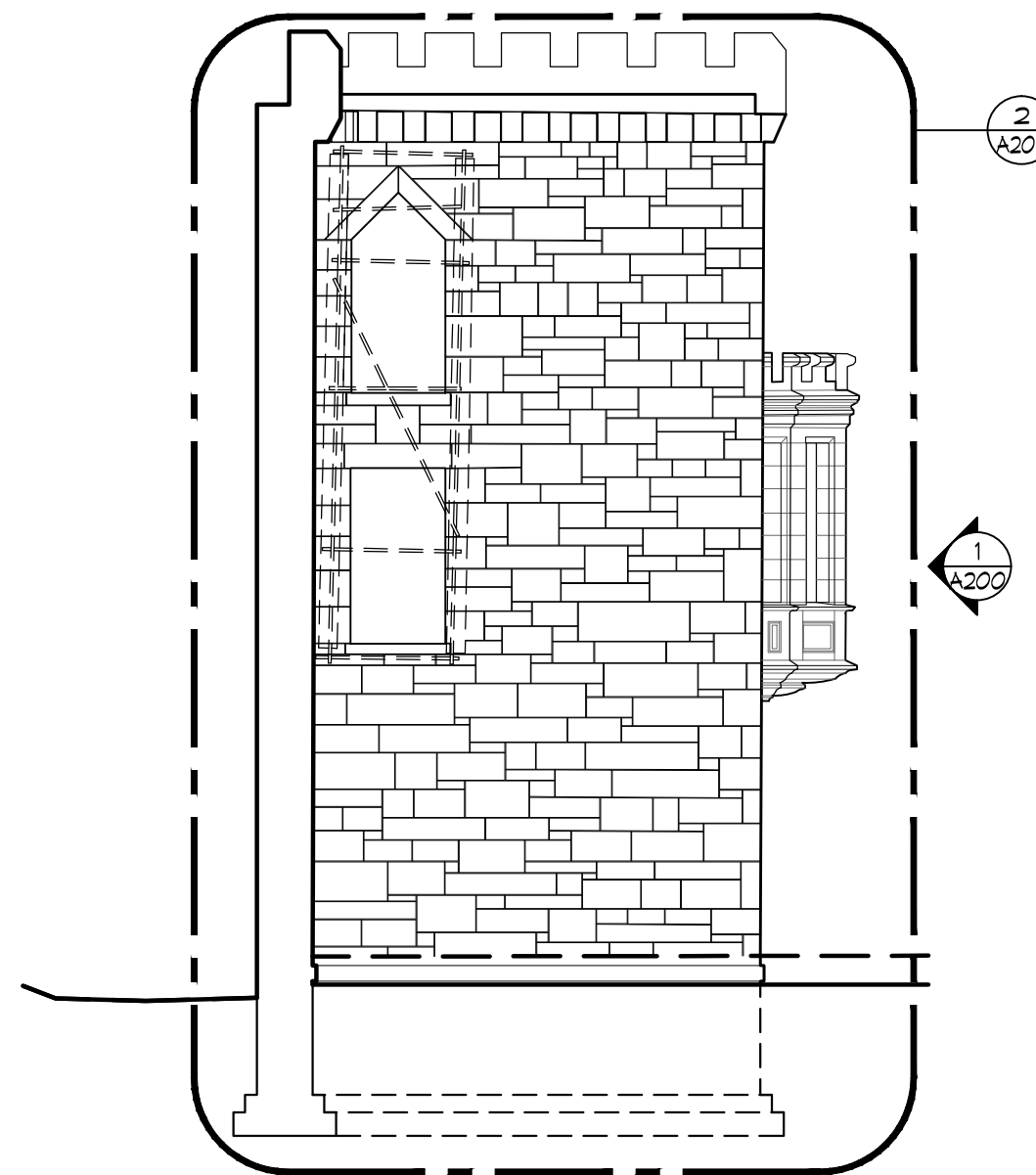
FOR PRICING
ONLY



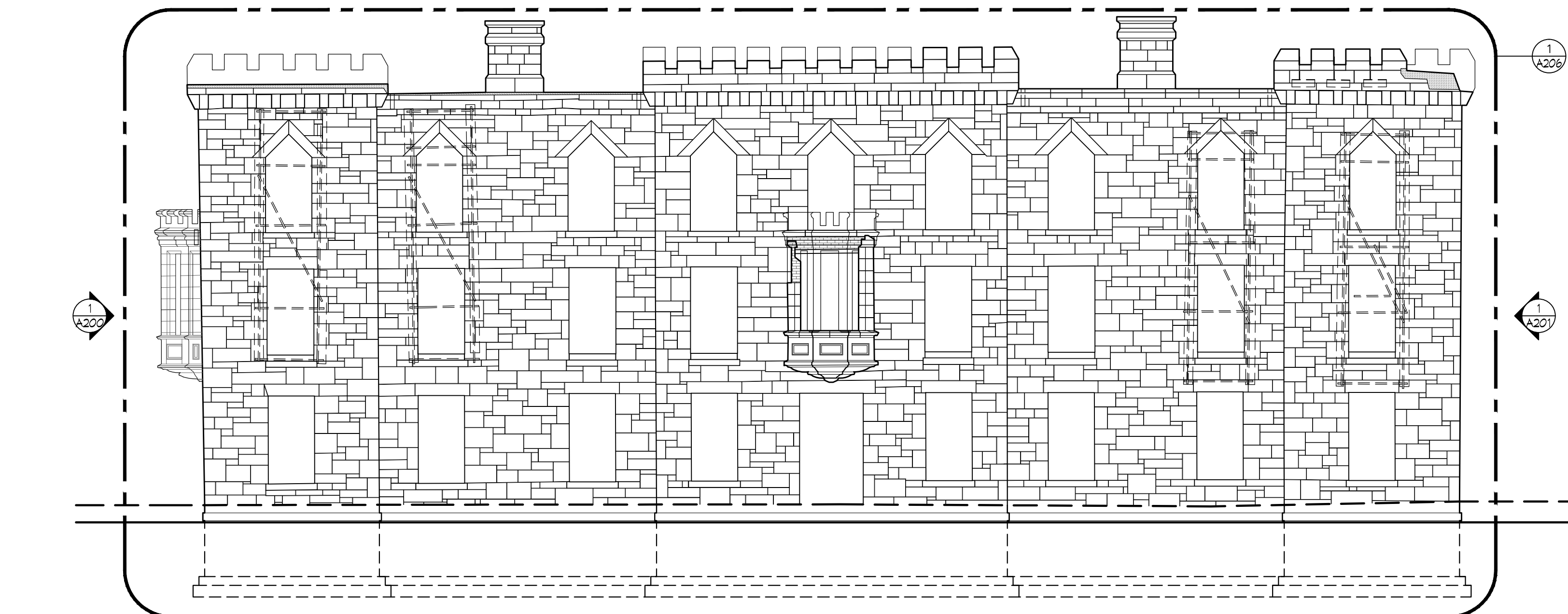
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



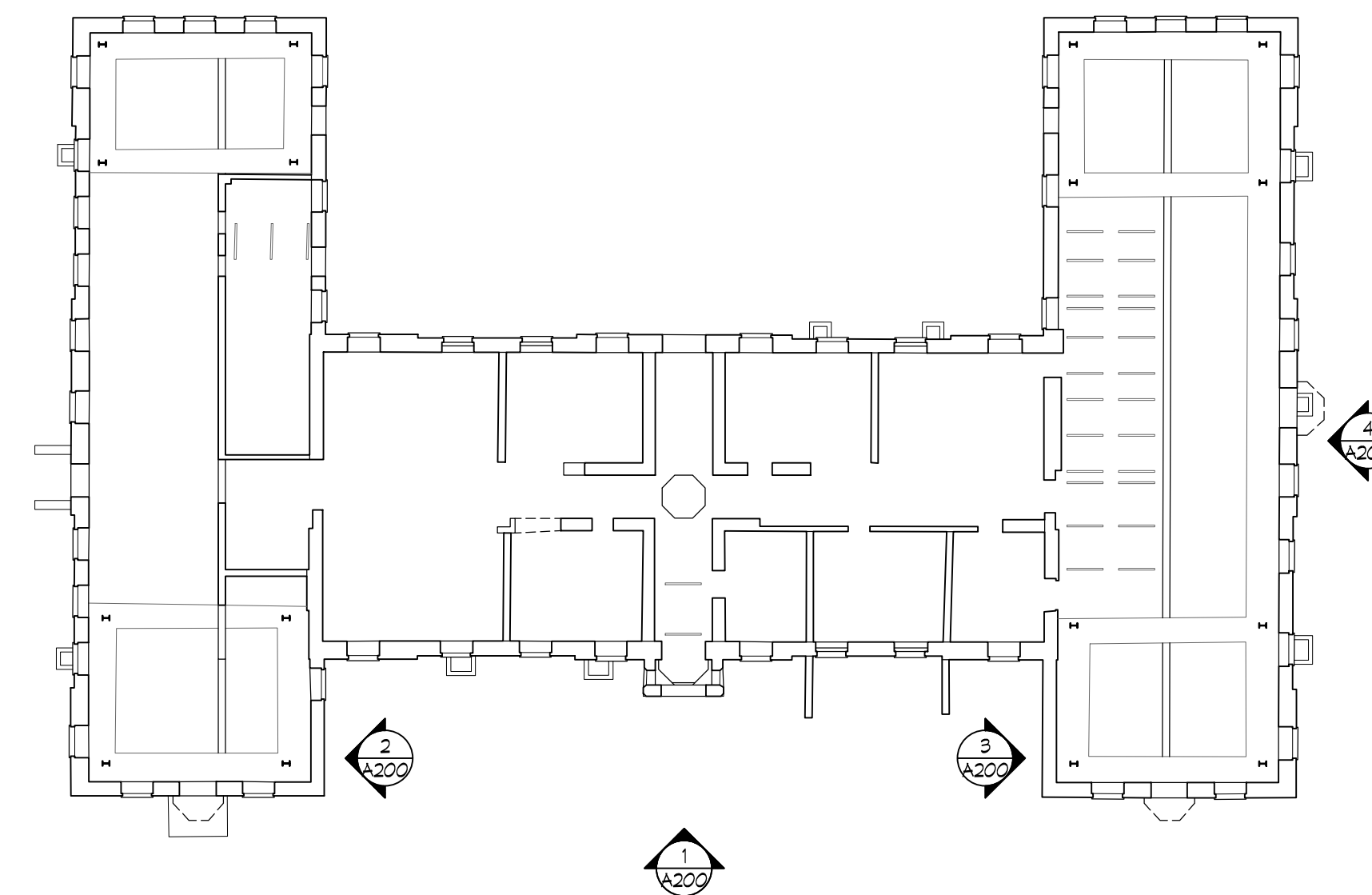
2 NORTHWEST RETURN ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTHWEST RETURN ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



5 KEY PLAN
NOT TO SCALE

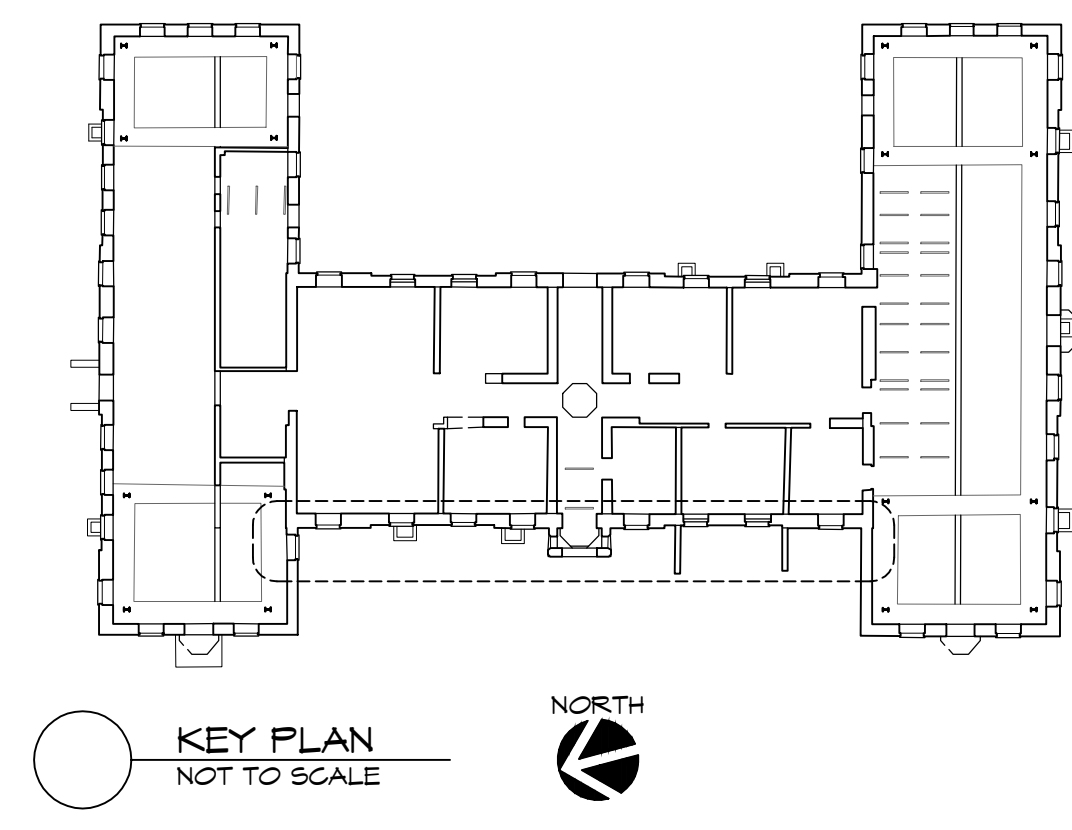


GRAPHIC LEGEND

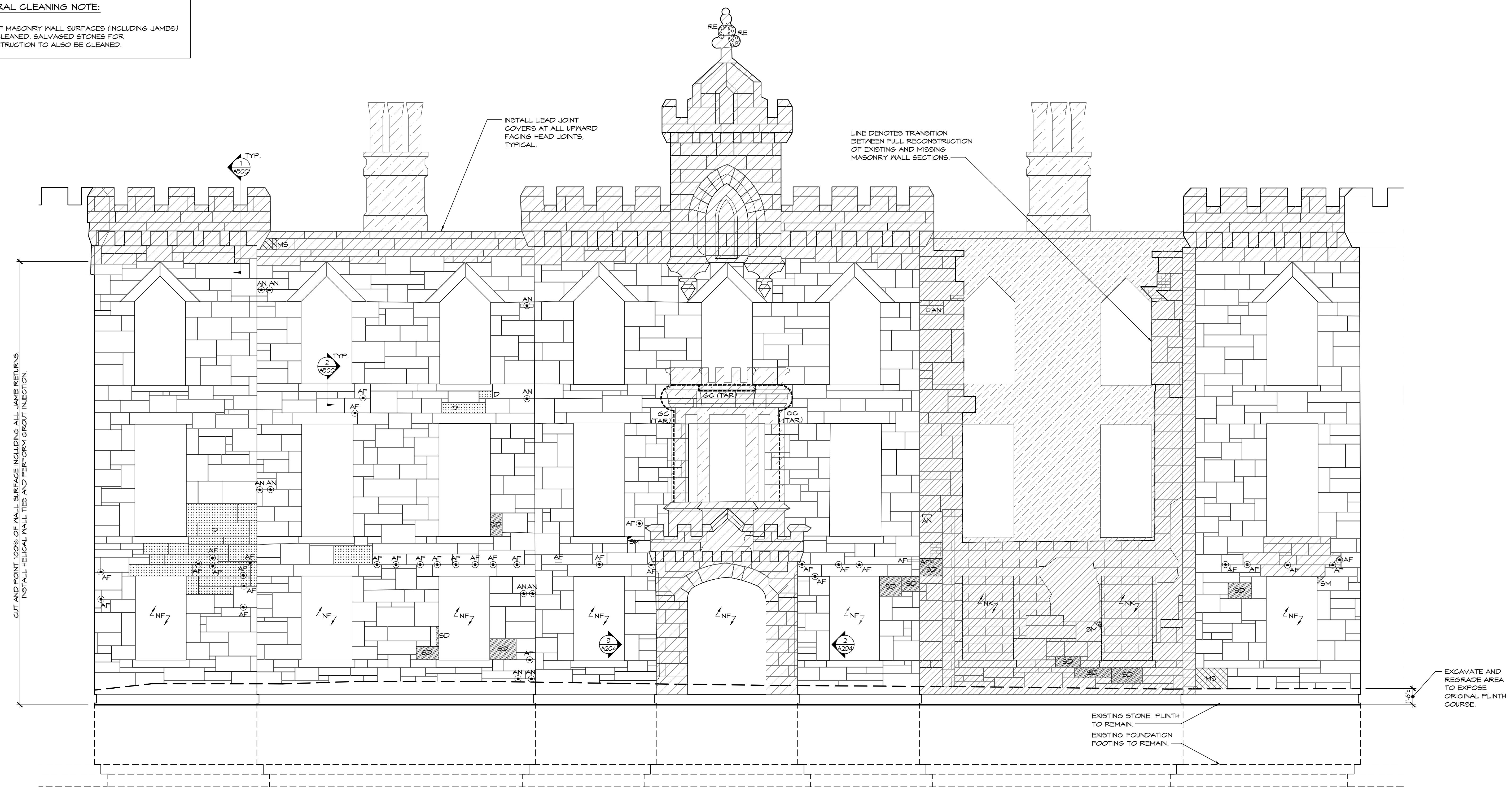
	GNEISS ASHLAR STONE TO REMAIN, U.O.N.		TERRA COTTA BLOCK TO REMAIN, U.O.N.
	BRICK TO REMAIN, U.O.N.		SUBWAY TILE TO BE REMOVED AND SALVAGED
	CMU BLOCK TO BE REMOVED		LATH TO BE REMOVED
	EXISTING WATERPROOFING TO BE REMOVED		PLASTER TO BE REMOVED AND SALVAGED
	EXISTING MODERN STRUCTURAL INTERVENTIONS TO BE REMOVED, FOLLOWING STABILIZATION.		NON-ORIGINAL BRICKWORK AT INFILLED FIREPLACE TO BE REMOVED, RESTORE FIRE BOX
	ORIGINAL ROWLOCK BRICK ARCHES TO REMAIN, U.O.N.		
	BACK-TO-BACK STEEL I BEAM LINTELS TO BE REPLACED		
	SCRAPE, PRIME, PAINT AND CAULK		
	E-SECTION CHANNEL LINTELS		

PROPOSED TREATMENT KEY

	REMOVE, SALVAGE AND RECONSTRUCT PARTIAL WALL WITH SALVAGED STONE AT EXTERIOR AND NEW BACK-UP BRICK AT INTERIOR.		MISSING (M) MS INFILL MISSING STONE WITH SALVAGED STONE MB INFILL MISSING BRICK WITH NEW BRICK		CRACKS (C) CH, CUT AND POINT CRACK CL CRACK CM STITCH REPAIR AT CRACK		PATCHING (R) RS, REMOVE PATCH TO SOUND STONE AND PATCH RB, CUT CRACK AND PATCH RE		HISTORIC FINISHES (F) TO BE CAREFULLY REMOVED, DOCUMENTED, AND SALVAGED, U.O.N. FB INFILLED FIRE BOX FD DOOR (REMNANTS) FF DECORATIVE WOOD FINISH FM METAL FP PLASTER FT TILE FN WINDOW (REMNANTS)		NON-ORIGINAL MATERIAL (N) EXISTING TO REMAIN, U.O.N. NB BRICK NC CONCRETE NG GEOTAG TO BE REMOVED, U.O.N. NF FENCE NK CMU BLOCK NM CRACK MONITOR NT SHEET METAL NW WOOD
	RECONSTRUCT PARTIAL MISSING MASONRY WALL / ELEMENT WITH SALVAGED STONE AT EXTERIOR AND NEW BACK-UP BRICK AT INTERIOR.		DISPLACEMENT (D) D REMOVE DISPLACED STONE AND REINSTALL		SPALLING (S) SI REMOVE SPALL TO SOUND STONE AND PATCH SM REMOVE LOOSE MATERIAL TO SOUND STONE AND PATCH SD REMOVE DELAMINATED MATERIAL TO SOUND STONE		ANCHOR/FASTENER (A) AF REMOVE FERROUS ANCHOR AND PATCH AN REMOVE NON-FERROUS ANCHOR AND PATCH				
	REMOVE, SALVAGE AND RECONSTRUCT FULL WALL WITH REINFORCED CONCRETE CORE, SALVAGED STONE AT EXTERIOR, AND NEW BRICK AT INTERIOR.		SOILING (G) GA REMOVE ATMOSPHERIC SOILING GC REMOVE COATING								
	RECONSTRUCT FULL MISSING MASONRY WALL WITH REINFORCED CONCRETE CORE, SALVAGED STONE AT EXTERIOR, AND NEW BRICK AT INTERIOR.										



GENERAL CLEANING NOTE:
100% OF MASONRY WALL SURFACES (INCLUDING JAMBS) TO BE CLEANED. SALVAGED STONES FOR RECONSTRUCTION TO ALSO BE CLEANED.



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**SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY**

STRUCTURAL STABILIZATION SCHEMATIC DESIGN

SCALE: AS NOTED
PROJECT NO: 165701
DRAWN BY: AL, RS
DATE: 6/1/2017
TITLE: WEST ELEVATION - CENTER BUILDING

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
DRAWING NO.

A203.00

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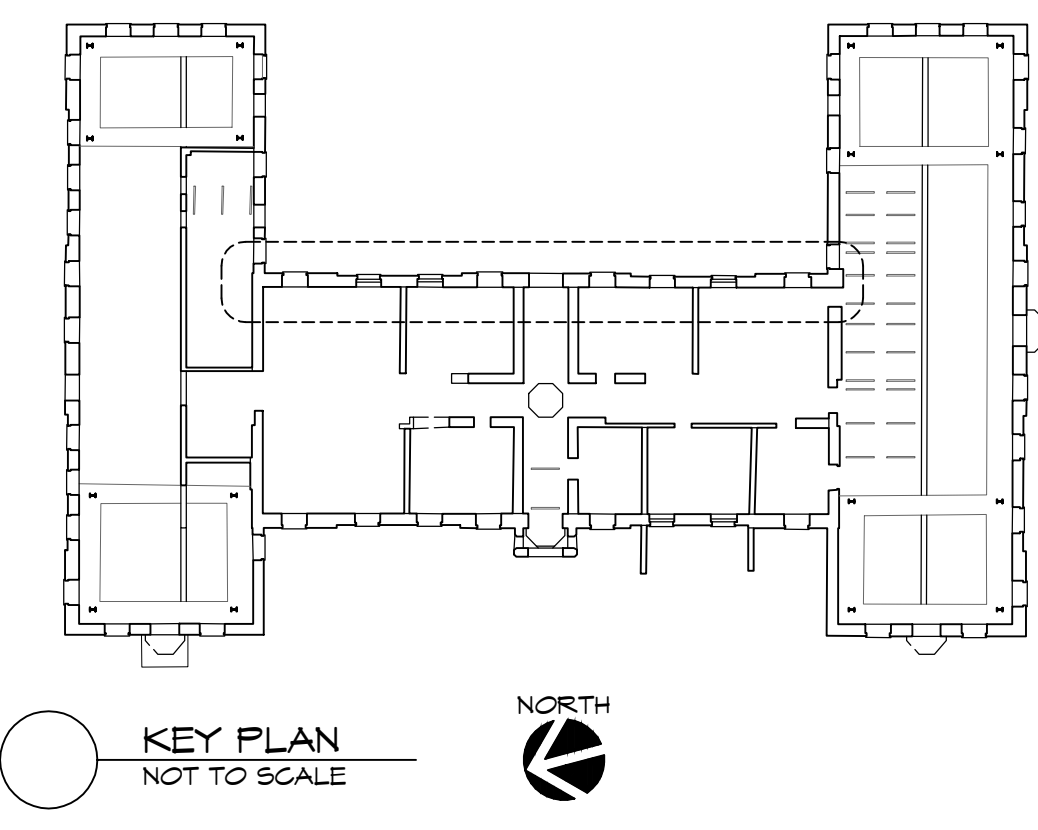
1 WEST ELEVATION - CENTER BUILDING
SCALE: 1/4" = 1'-0"

GRAPHIC LEGEND

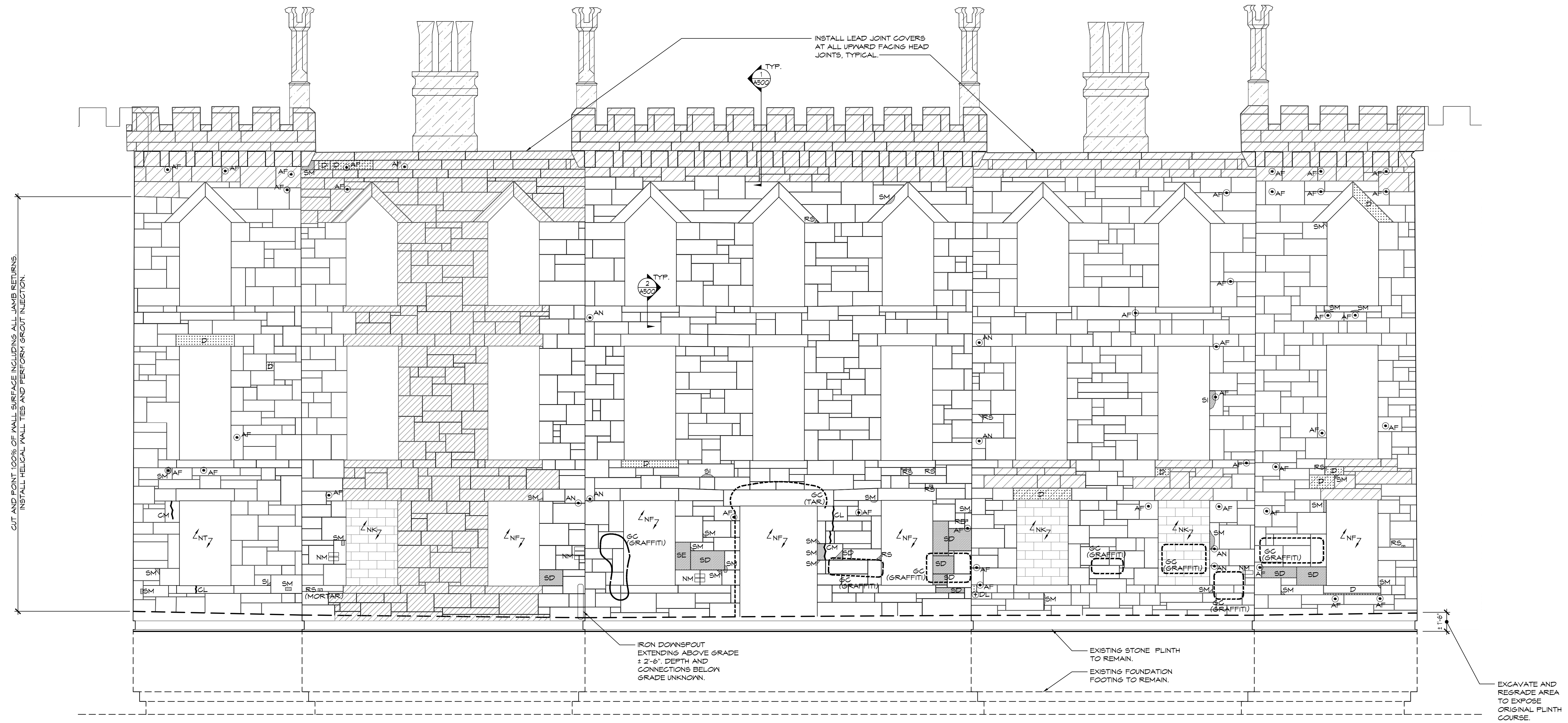
	GNEISS ASHLAR STONE TO REMAIN, U.O.N.		TERRA COTTA BLOCK TO REMAIN, U.O.N.
	BRICK TO REMAIN, U.O.N.		SUBWAY TILE TO BE REMOVED AND SALVAGED
	CMU BLOCK TO BE REMOVED		LATH TO BE REMOVED
	EXISTING WATERPROOFING TO BE REMOVED		PLASTER TO BE REMOVED AND SALVAGED
	EXISTING MODERN STRUCTURAL INTERVENTIONS TO BE REMOVED, FOLLOWING STABILIZATION.		NON-ORIGINAL BRICKWORK AT INFILLED FIREPLACE TO BE REMOVED, RESTORE FIRE BOX
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	BACK-TO-BACK STEEL I BEAM LINTELS TO BE REPLACED		
	SCRAPE, PRIME, PAINT AND CAULK		
	E-SECTION CHANNEL LINTELS		

PROPOSED TREATMENT KEY

	REMOVE, SALVAGE AND RECONSTRUCT PARTIAL WALL WITH SALVAGED STONE AT EXTERIOR AND NEW BACK-UP BRICK AT INTERIOR.		MISSING (M) MS INFILL MISSING STONE WITH SALVAGED STONE MB INFILL MISSING BRICK WITH NEW BRICK		CRACKS (C) CH, CUT AND POINT CRACK CL CRACK CM STITCH REPAIR AT CRACK		PATCHING (R) RS, REMOVE PATCH TO SOUND STONE AND PATCH RB, CUT CRACK AND PATCH RE		HISTORIC FINISHES (F) TO BE CAREFULLY REMOVED, DOCUMENTED, AND SALVAGED, U.O.N. FB INFILLED FIRE BOX FD DOOR (REMNANTS) FF DECORATIVE WOOD FINISH FM METAL FP PLASTER FT TILE FX WINDOW (REMNANTS) TO BE REMOVED, U.O.N. FL LATH FN NAILER		NON-ORIGINAL MATERIAL (N) EXISTING TO REMAIN, U.O.N. NB BRICK NC CONCRETE NG GEOTAG TO BE REMOVED, U.O.N. NF FENCE NK CMU BLOCK NM CRACK MONITOR NT SHEET METAL NW WOOD
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GENERAL CLEANING NOTE:
100% OF MASONRY WALL SURFACES (INCLUDING JAMBS) TO BE CLEANED. SALVAGED STONES FOR RECONSTRUCTION TO ALSO BE CLEANED.



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**SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY**
STRUCTURAL STABILIZATION SCHEMATIC DESIGN

SCALE: AS NOTED
PROJECT NO: 165701
DRAWN BY: AL, RS
DATE: 6/1/2017
TITLE: EAST ELEVATION-CENTER BUILDING

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DRAWING NO: **A208.00**

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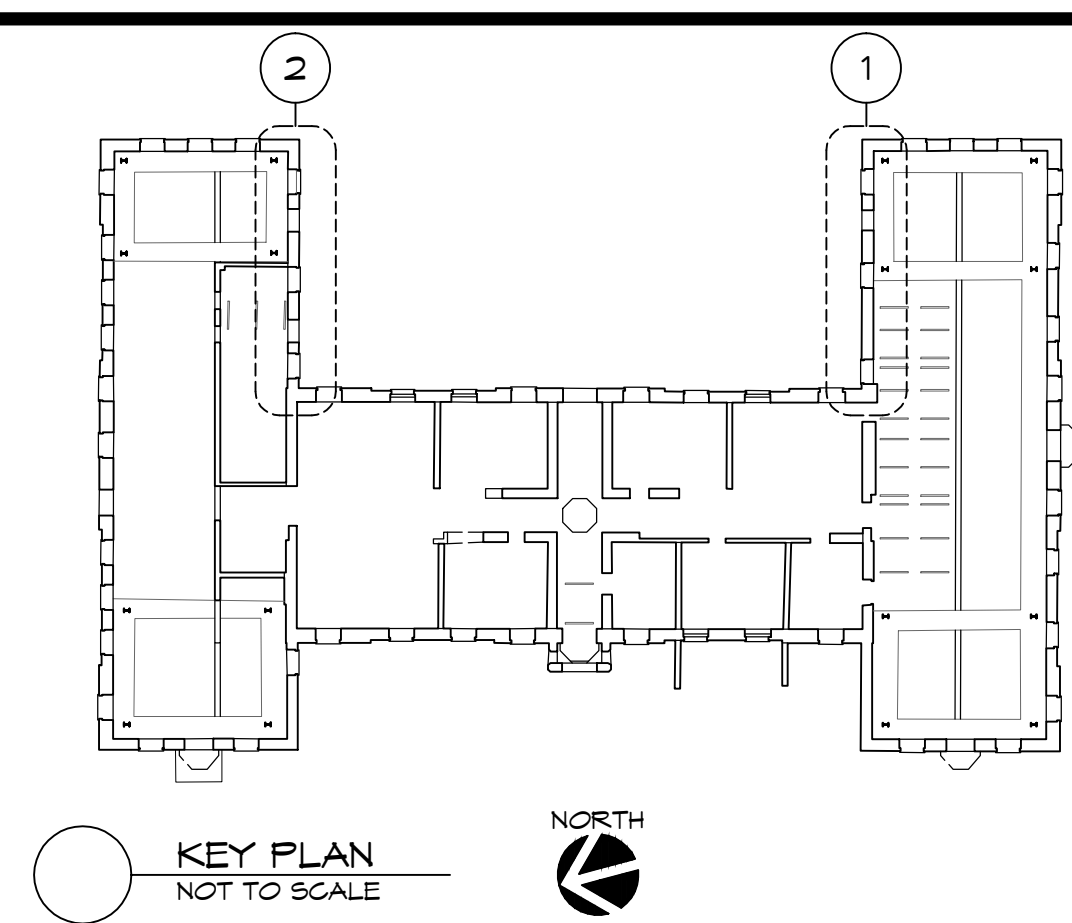
1 EAST ELEVATION - CENTER BUILDING
SCALE: 1/4" = 1'-0"

GRAPHIC LEGEND

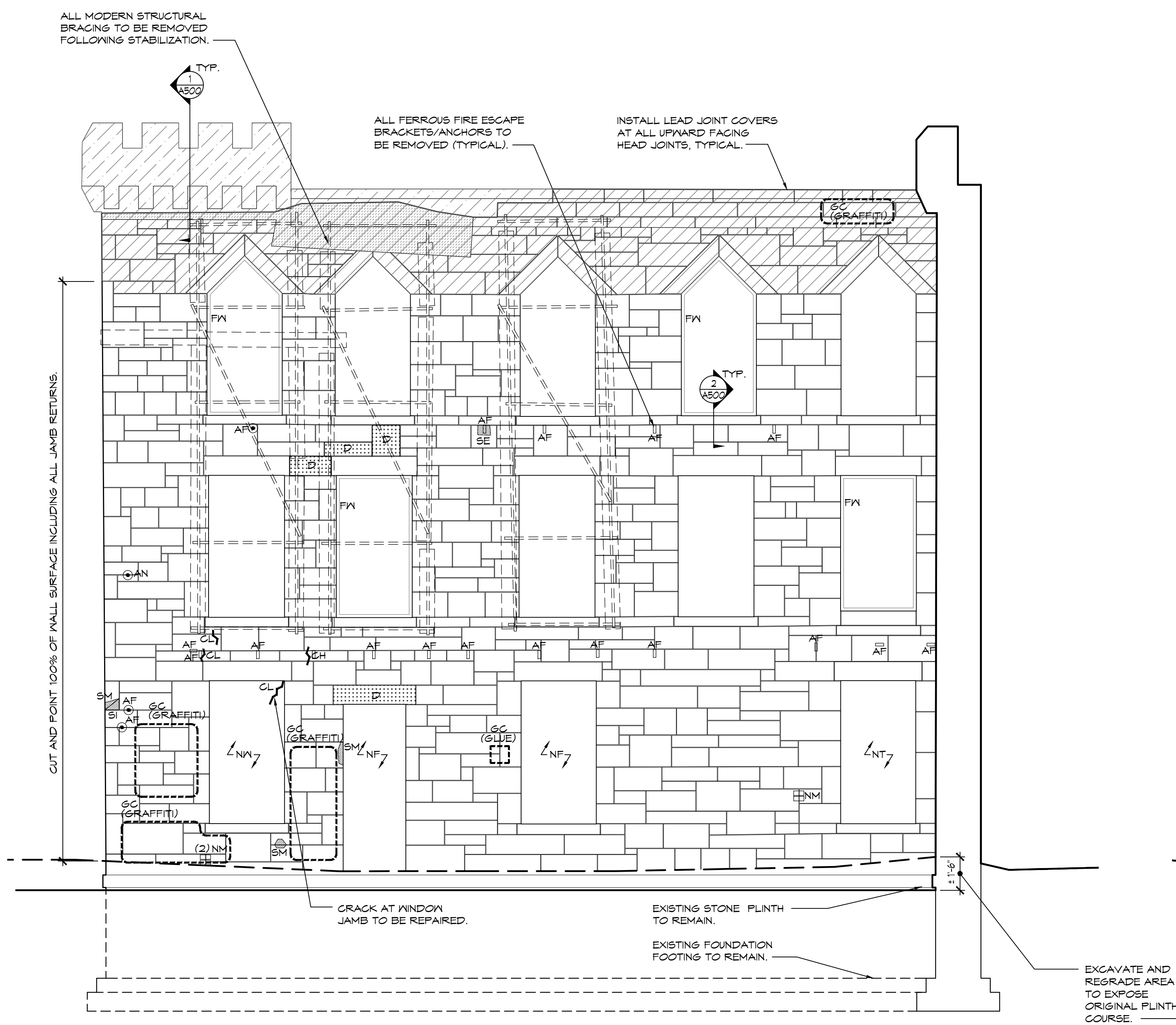
	GNEISS ASHLAR STONE TO REMAIN, U.O.N.		TERRA COTTA BLOCK TO REMAIN, U.O.N.
	BRICK TO REMAIN, U.O.N.		SUBWAY TILE TO BE REMOVED AND SALVAGED
	CMU BLOCK TO BE REMOVED		LATH TO BE REMOVED
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	ORIGINAL ROWLOCK BRICK ARCHES TO REMAIN, U.O.N.		
	BACK-TO-BACK STEEL I BEAM LINTELS TO BE REPLACED		
	SCRAPE, PRIME, PAINT AND CAULK E-SECTION CHANNEL LINTELS		

PROPOSED TREATMENT KEY

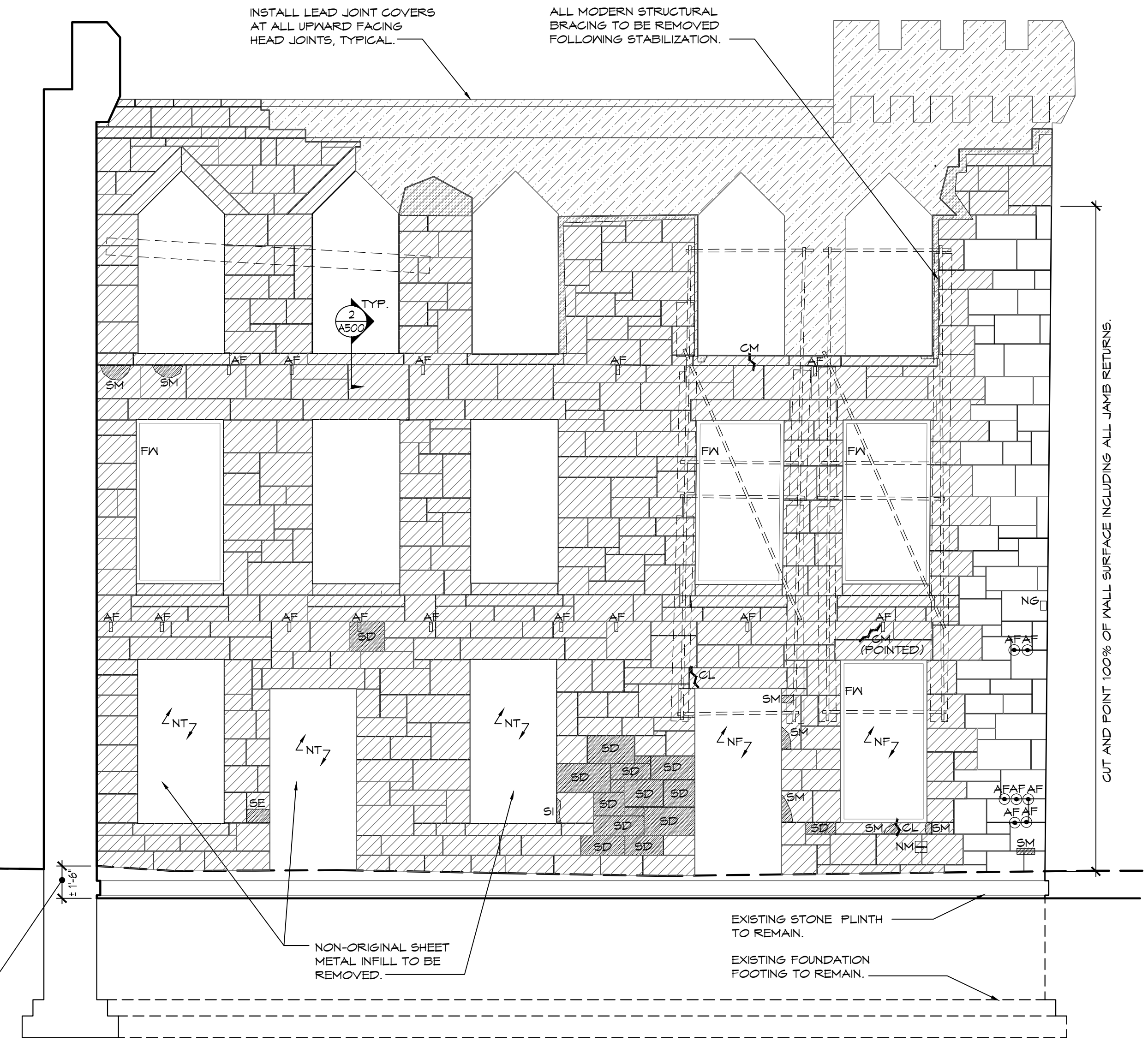
	REMOVE, SALVAGE AND RECONSTRUCT PARTIAL WALL WITH SALVAGED STONE AT EXTERIOR AND NEW BACK-UP BRICK AT INTERIOR.		MISSING (M) MS INFILL MISSING STONE WITH SALVAGED STONE MB INFILL MISSING BRICK WITH NEW BRICK		CRACKS (C) CH, CUT AND POINT CL CRACK CM STITCH REPAIR AT CRACK		PATCHING (R) RS, REMOVE PATCH TO SOUND STONE AND PATCH RB, CUT CRACK AND PATCH RE		HISTORIC FINISHES (F) TO BE CAREFULLY REMOVED, DOCUMENTED, AND SALVAGED, U.O.N. FB INFILLED FIRE BOX FD DOOR (REMNANTS) FF DECORATIVE WOOD FINISH FM METAL FP PLASTER FT TILE FN WINDOW (REMNANTS) TO BE REMOVED, U.O.N. FL LATH FN NAILER		NON-ORIGINAL MATERIAL (N) EXISTING TO REMAIN, U.O.N. NB BRICK NC CONCRETE NG GEOTAG TO BE REMOVED, U.O.N. NF FENCE NK CMU BLOCK NM CRACK MONITOR NT SHEET METAL NW WOOD
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	RECONSTRUCT FULL MISSING MASONRY WALL WITH REINFORCED CONCRETE CORE, SALVAGED STONE AT EXTERIOR, AND NEW BRICK AT INTERIOR.										



GENERAL CLEANING NOTE:
100% OF MASONRY WALL SURFACES (INCLUDING JAMBS) TO BE CLEANED. SALVAGED STONES FOR RECONSTRUCTION TO ALSO BE CLEANED.



1 SOUTHEAST RETURN ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTHEAST RETURN ELEVATION
SCALE: 1/4" = 1'-0"

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ROOSEVELT ISLAND, NY, NY**

STRUCTURAL STABILIZATION SCHEMATIC DESIGN

SCALE: AS NOTED
PROJECT NO: 165701
DRAWN BY: AL, RS
DATE: 6/1/2017
TITLE: EAST ELEVATION-RETURN ELEVATIONS

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DRAWING NO.

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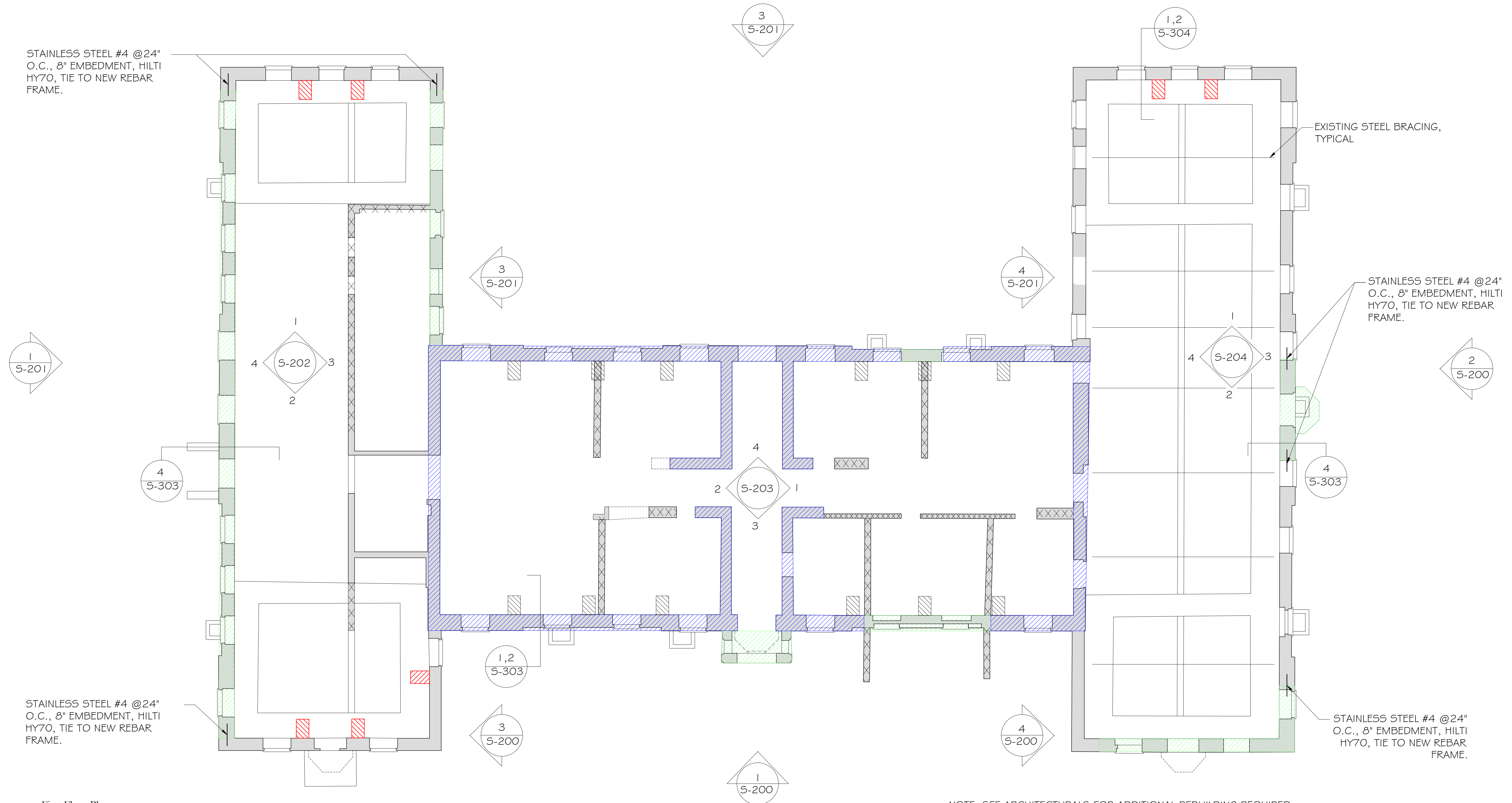
PROJECT
SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY
STRUCTURAL STABILIZATION SCHEMATIC DESIGN

SCALE	PROJECT NO.
1/8"	165701
DRAWN BY	DATE
CDR	2/1/2017
TITLE	

PROPOSED
FIRST FLOOR PLAN

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DRAWING NO.

S-100.00



STAINLESS STEEL #4 @24"
O.C., 8" EMBEDMENT, HILTI
HY70, TIE TO NEW REBAR
FRAME.

EXISTING STEEL BRACING,
TYPICAL

STAINLESS STEEL #4 @24"
O.C., 8" EMBEDMENT, HILTI
HY70, TIE TO NEW REBAR
FRAME.

STAINLESS STEEL #4 @24"
O.C., 8" EMBEDMENT, HILTI
HY70, TIE TO NEW REBAR
FRAME.

① First Floor Plan
Scale: 1/8" = 1'-0" N

NOTE: SEE ARCHITECTURALS FOR ADDITIONAL REBUILDING REQUIRED,
INCLUDING FILLING ALL JOIST POCKETS, SPANDRELS UNDER WINDOWS AND
WOOD LATHE INSETS.

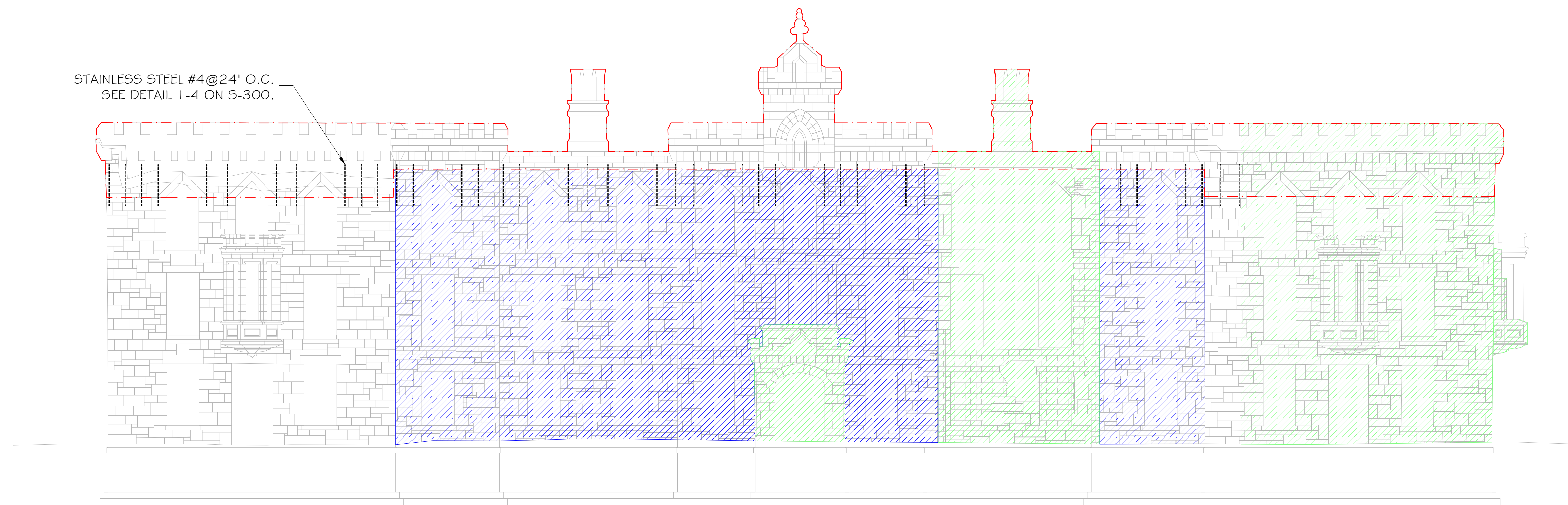
GROUTING PROCEDURE:

1. Masonry grouting procedure shall be designed by a professional engineer with a minimum of 5 years experience designing and monitoring cementitious grout injection for historic masonry. The 5 years of experience shall include a minimum of 3 projects.
2. The masonry grouting process, including preparation, pointing, flushing and grouting, shall be performed by a contractor with a minimum of 10 years of experiences repairing and injection grouting historic structures. The 10 years of experience shall include a minimum of 3 projects.
3. For the purpose of budgeting only, use the following procedure. Final procedure to be determined by the masonry grouting engineer.
 - a. Submit lime based pointing mix. Following mix approval, provide mock ups for approval. Following approval of mock ups, grouting procedure may begin.
 - b. Beginning at the base of the building, cut and point joints to 12" high. This will define the lift being grouted during the procedure. Seal all joints with pointing mortar at exterior and interior, and at window door openings. Wait 7 days after pointing before flushing.
 - c. Install ports at 12" on center at low point of lift.
 - d. Flush out masonry to remove loose fines. Keep pressure low enough to insure that water does not leak out joints more than 6" above the top of lift.
 - e. Inject joints with Masonry Solutions International Compatible Injection Fill, Mix Number 110-210. Keep pressure low enough so that grout does not leak out joints above the top of lift.
 - f. Allow fill to cure for a minimum of 24 hours before beginning pointing on next lift.
 - g. Follow steps 2-6 working up the building in 12" lifts. Under no circumstances should flushing procedure be performed less than 72 hours after lift below is injected.
 - h. In addition to this procedure, follow all of the manufacturer's recommendations. If this procedure conflicts with the manufacturer's recommendations, follow the more conservative direction.

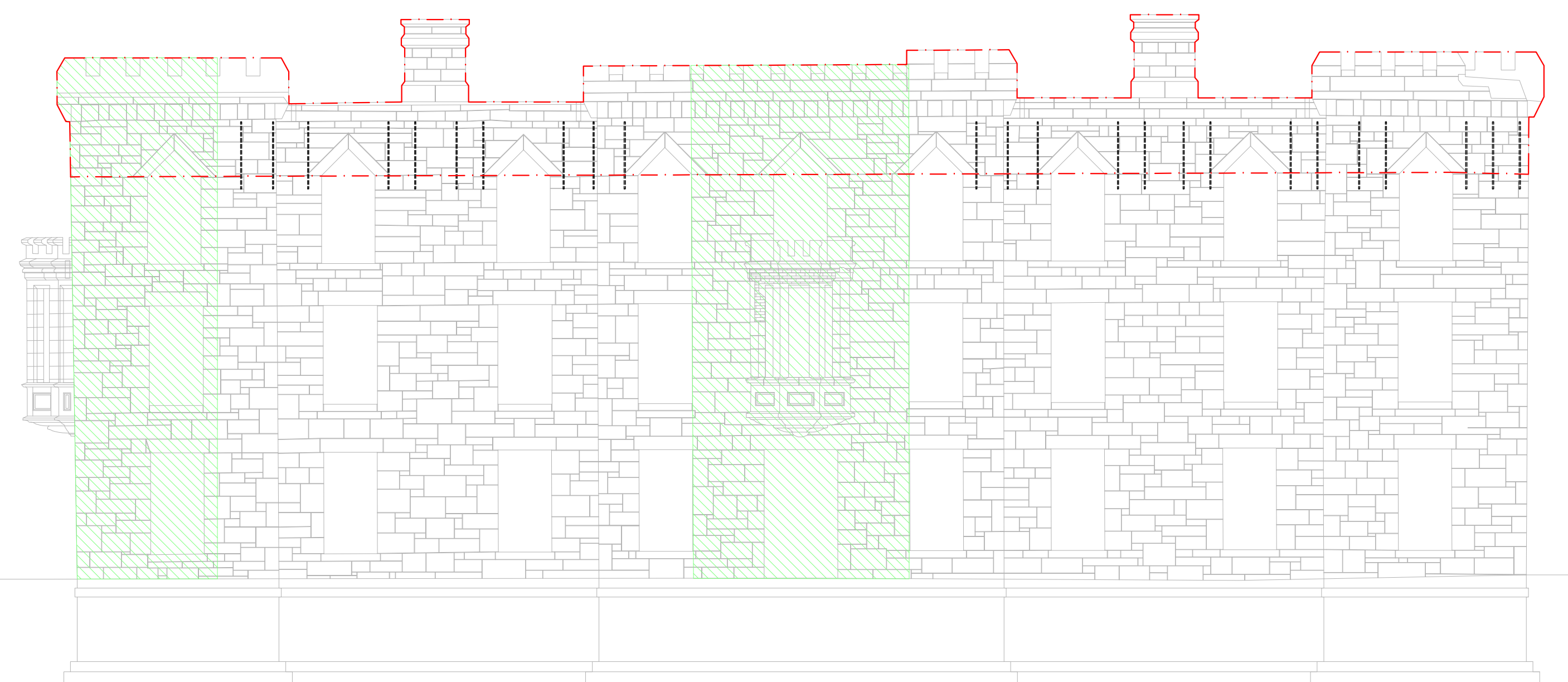
LEGEND:

- GROUT WALL
- REBUILD FROM GROUND UP - 4 / 5-303
- PROPOSED NEW CONCRETE BRACING COLUMNS FOR CENTER BUILDING - 1,2,3,5 / 5-303
- PROPOSED NEW CONCRETE BRACING COLUMNS FOR NORTH AND SOUTH BUILDING / 5-304
- XXXX TO BE DEMOLISHED
- - - REBUILD PARAPET

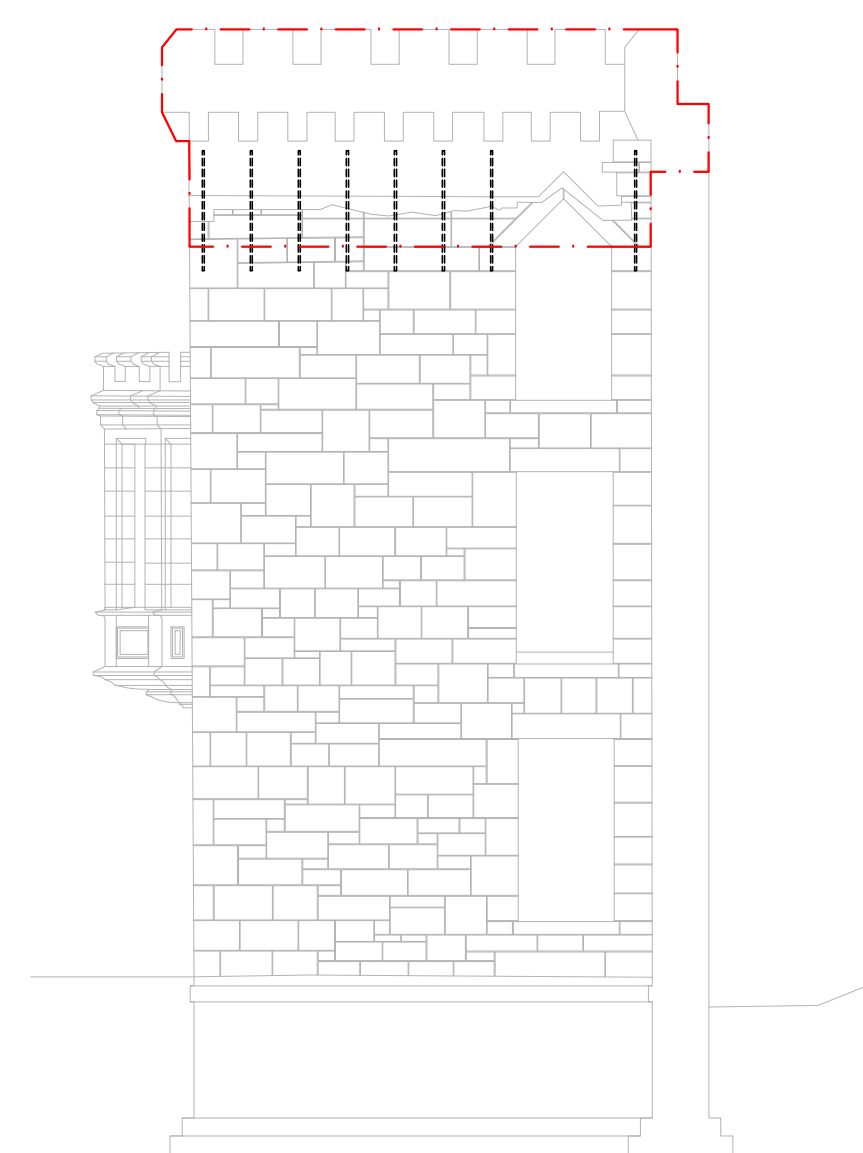
STAINLESS STEEL #4@24" O.C.
SEE DETAIL 1-4 ON S-300.



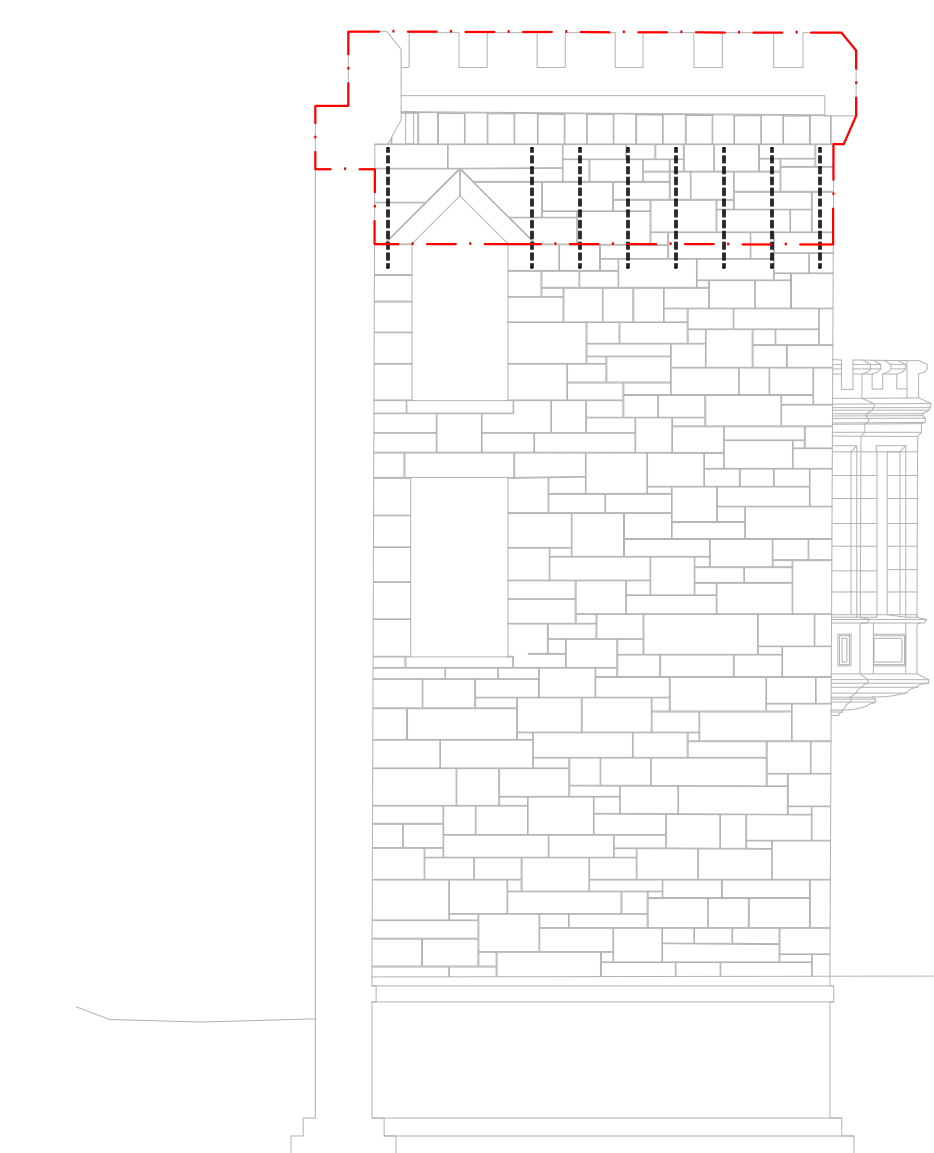
① West Elevation
Scale: 1/8" = 1'-0"



② South Elevation
Scale: 1/8" = 1'-0"



③ South Elevation-North Wing
Scale: 1/8" = 1'-0"



④ North Elevation-South Wing
Scale: 1/8" = 1'-0"

- LEGEND:
- GROUT WALL
 - REBUILD FROM GROUND UP - 4 / S-303
 - PROPOSED NEW CONCRETE BRACING COLUMNS FOR CENTER BUILDING - 1,2,3,5 / S-303
 - PROPOSED NEW CONCRETE BRACING COLUMNS FOR NORTH AND SOUTH BUILDING / S-304
 - TO BE DEMOLISHED
 - REBUILD PARAPET

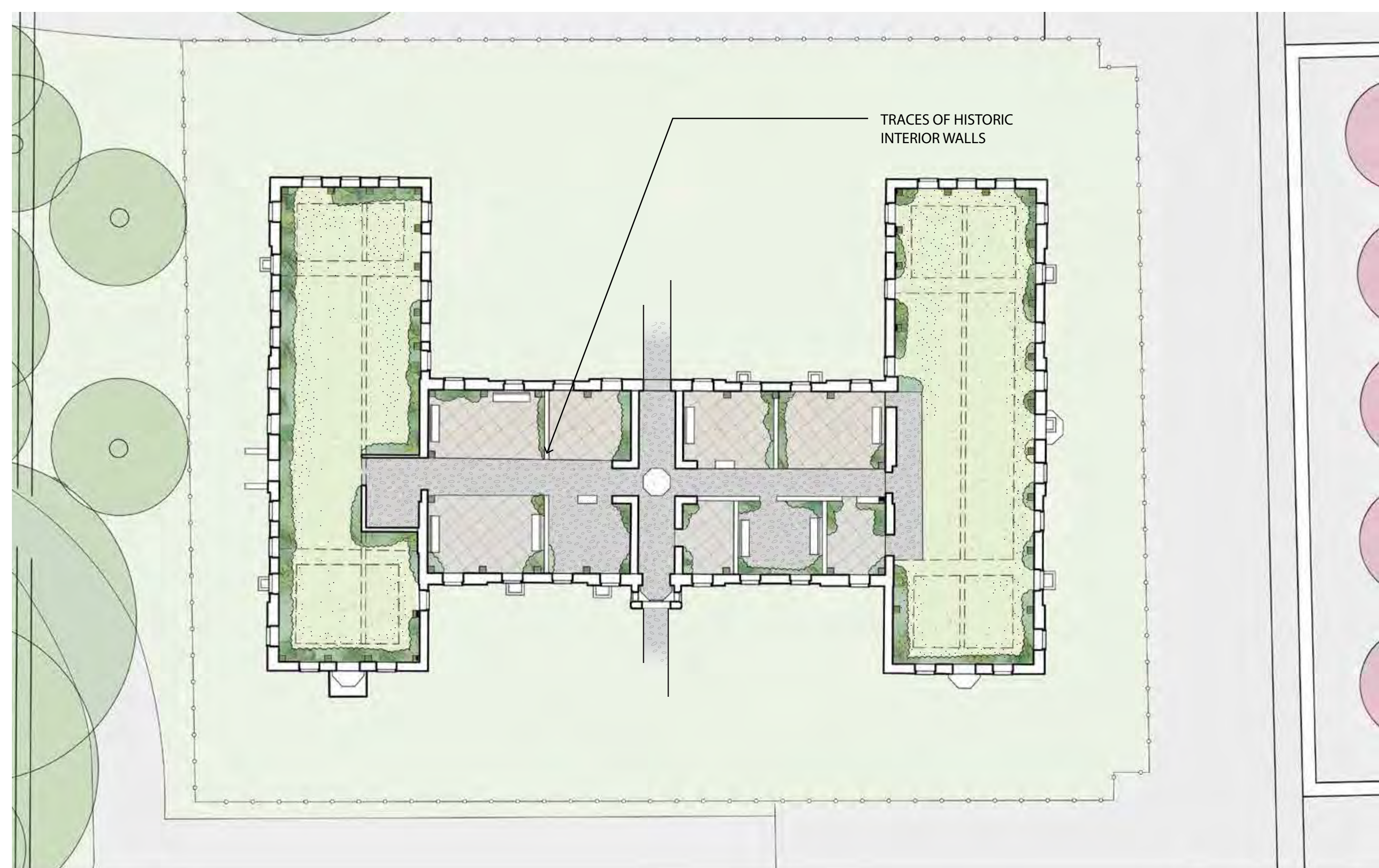
PROJECT
SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY
STRUCTURAL STABILIZATION SCHEMATIC DESIGN

SCALE	PROJECT NO.
1/8"	165701
DRAWN BY	DATE
CDR	2/1/2017
TITLE	

PROPOSED
WEST AND SOUTH
ELEVATIONS

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DRAWING NO.

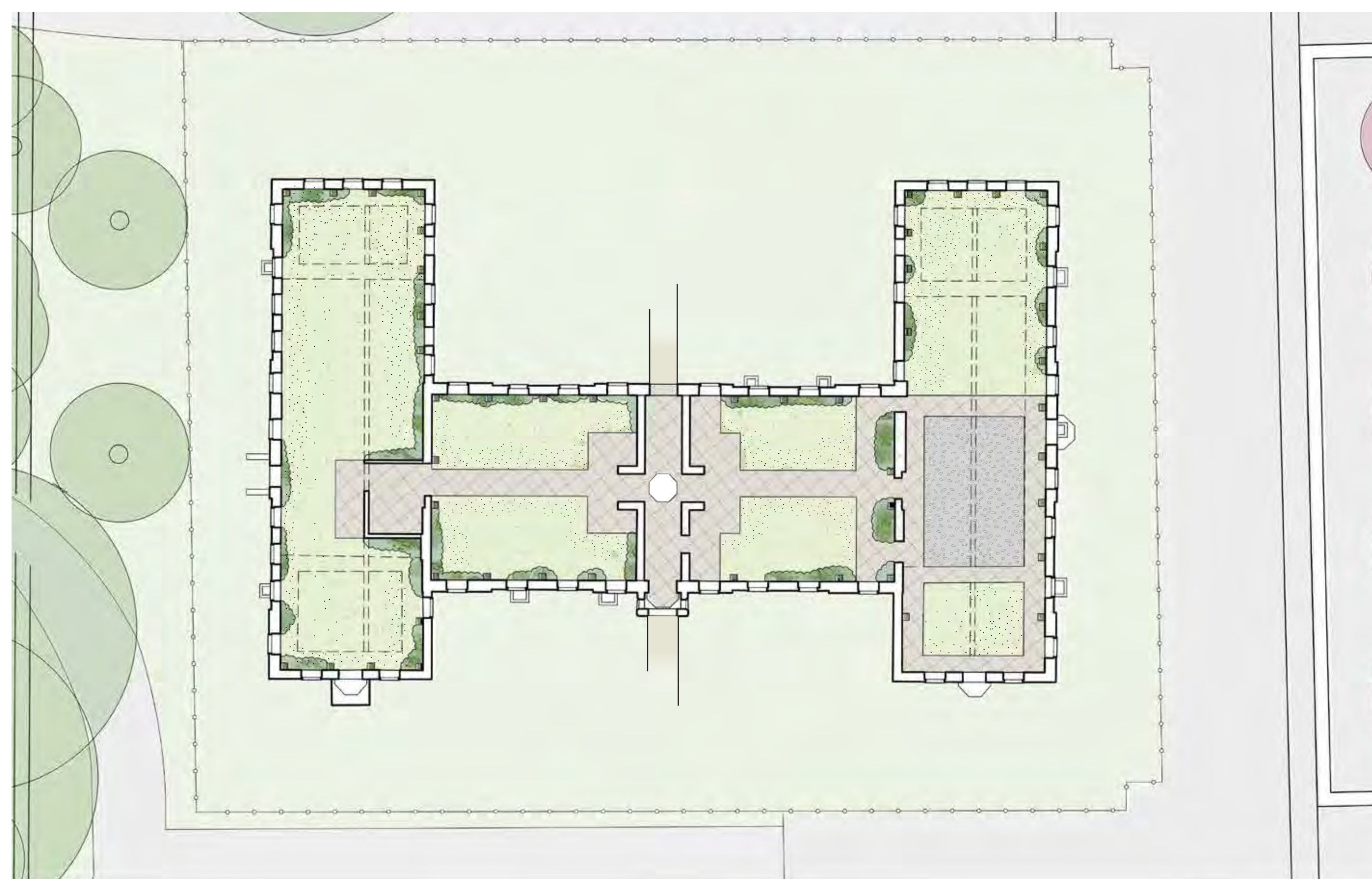
S-200.00



OPTION A - INTERIOR

REMNANTS OF WALLS REMAIN TO PRESERVE INTEGRITY OF INTERIOR SPACES. PAVING AND GRAVEL SURFACES DEFINE THE ROOMS WITH SEATING PROVIDED FOR INFORMAL USE. VEGETATION COVERS THE INTERIOR WALLS.

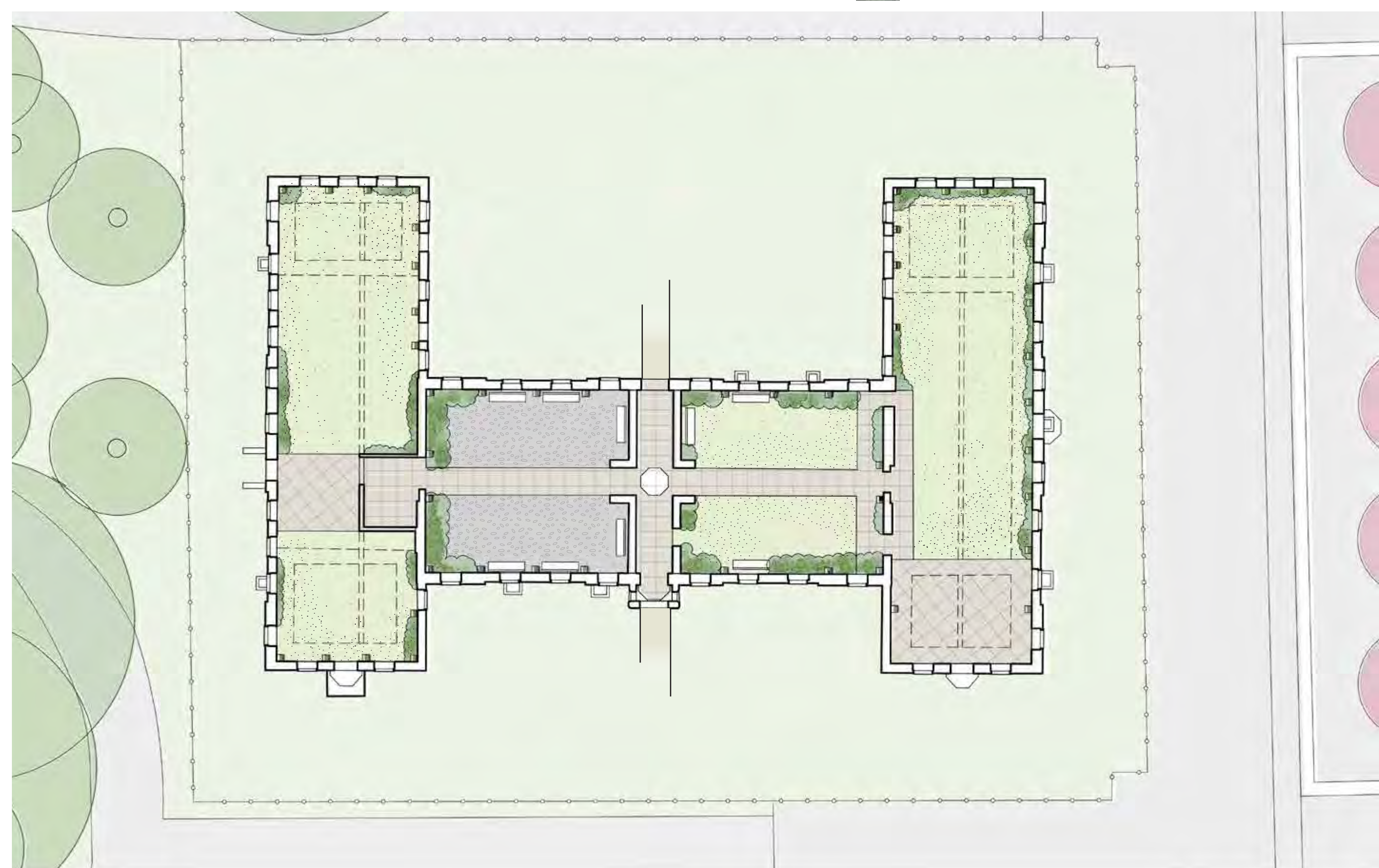
- LEGEND
- LAWN
 - GRAVEL
 - PAVING
 - PLANTING



OPTION B - INTERIOR

PAVING AT INTERIOR COURT TO ALLOW FOR GROUPS TO GATHER UPON ENTERING THE STRUCTURE. EVENT SPACE WITH GRAVEL SURROUNDED BY PERIMETER PAVING BANDS PROVIDED IN THE SOUTH WING.

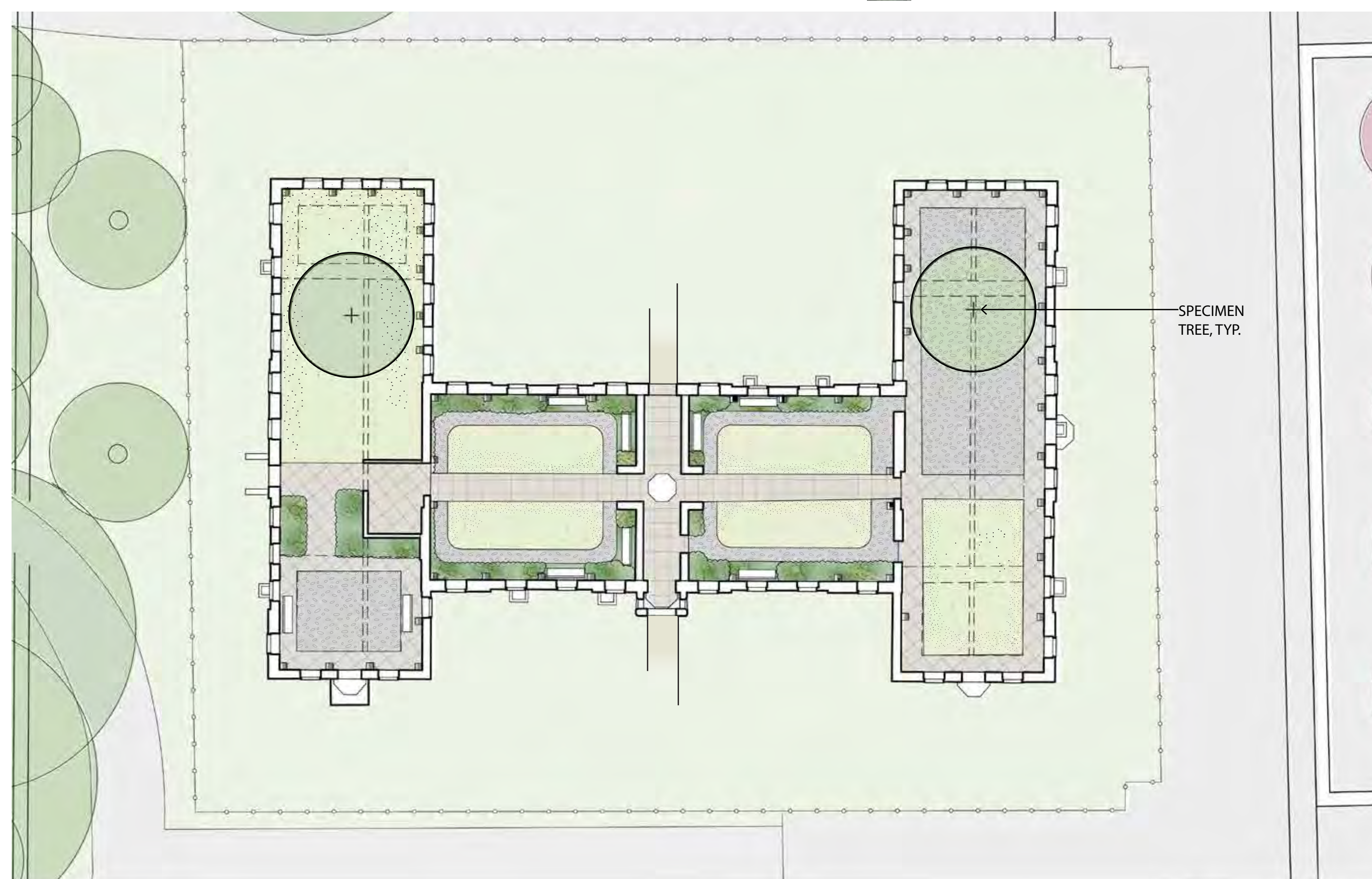
- LEGEND
- LAWN
 - GRAVEL
 - PAVING
 - PLANTING



OPTION C - INTERIOR

PAVING PROVIDED FOR CIRCULATION THROUGH THE SPACES, WITH SMALL PAVED GATHERING SPACE IN THE SOUTH WING, TAKING ADVANTAGE OF MANHATTAN VIEWS. GRAVEL SURFACE WITH SEATING PROVIDED FOR GATHERING THE NORTH PORTION OF THE CENTRAL SPACE.

- LEGEND
- LAWN
 - GRAVEL
 - PAVING
 - PLANTING



OPTION D - INTERIOR

SPACES FLANKING THE ENTRY ARE TRANSFORMED INTO GARDEN ROOMS WITH PERIMETER GRAVEL PATHS. EVENT AND GATHERING SPACES, SURFACED WITH GRAVEL AND PAVING BANDS, ARE PROVIDED IN THE NORTH AND SOUTH WINGS.

- LEGEND
- LAWN
 - GRAVEL
 - PAVING
 - PLANTING



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NEW YORK, NY 10013

PROJECT
SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY
STRUCTURAL STABILIZATION SCHEMATIC DESIGN

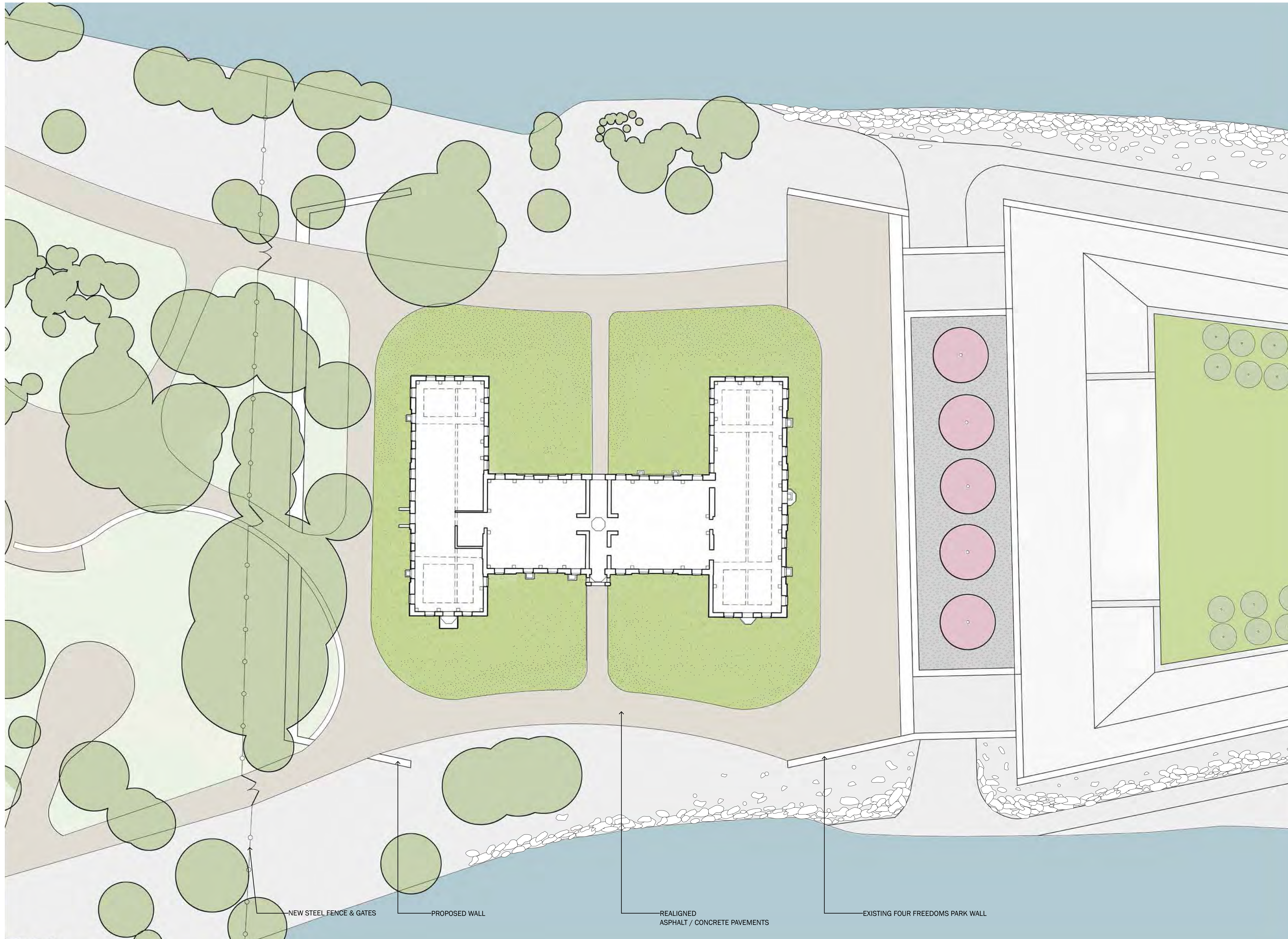
SCALE AS NOTED PROJECT NO. 165701
DRAWN BY SB DATE 5/5/2011
TITLE

LANDSCAPE INTERIOR SITE PLAN

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NEW STEEL FENCE & GATES

PROPOSED WALL

REALIGNED
ASPHALT / CONCRETE PAVEMENTS

EXISTING FOUR FREEDOMS PARK WALL



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SMALLPOX HOSPITAL
ROOSEVELT ISLAND, NY, NY
STRUCTURAL STABILIZATION SCHEMATIC DESIGN

SCALE PROJECT NO.

AS NOTED 165701

DRAWN BY DATE

SB 5/5/2011

TITLE

LANDSCAPE
EXTERIOR
SITE PLAN

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2 OF 2

June 1, 2017

Smallpox Hospital – The Renwick Ruin
Roosevelt Island, New York
Budget for Structural Stabilization Schematic Design

Walter B. Melvin Architects, LLC with AM&G Waterproofing, Inc.

Work Area/Item	Quantity	Unit	Unit Cost	Total
A. Mobilization				
1 General Conditions, Overhead and Profit				
a. Site facilities	36	Months	\$5,000.00	\$180,000.00
b. Project Supervisor, Manager and Assistant	36	Months	\$45,000.00	\$1,620,000.00
c. Engineering	1	Lump	\$40,000.00	\$40,000.00
d. Permits	1	Lump	\$40,000.00	\$40,000.00
2 Access/Scaffolding				
a. Removal of existing pipe scaffold shoring	1	Lump	\$60,000.00	\$60,000.00
b. Installation of pipe scaffold	1	Lump	\$600,000.00	\$600,000.00
c. Protection/Fence	1	Lump	\$45,000.00	\$45,000.00
d. Shoring	1	Lump	\$200,000.00	\$200,000.00
Subtotal, Work Area A: Mobilization				\$2,785,000.00

Work Area/Item	Quantity	Unit	Unit Cost	Total
B. Center Building				
1 Exterior Walls				
a. Plant removal	3000	SF	\$15.00	\$45,000.00
b. Concrete bracing columns	12	Loc.	\$25,000.00	\$300,000.00
c. Reconstruction of missing west bay, porch, oriel, engaged cupola and chimneys	600	SF	\$1,000.00	\$600,000.00
d. Reconstruction of out-of-plumb east bay	750	SF	\$1,000.00	\$750,000.00
e. Parapet reconstruction	200	LF	\$2,000.00	\$400,000.00
f. Full repointing of exterior and interior masonry	13900	SF	\$25.00	\$347,500.00
g. Grout injection	13900	SF	\$110.00	\$1,529,000.00
h. Isolated crack and spall repairs, masonry reconstruction	161		Varies	\$184,700.00
i. Interior sill repair/waterproofing	52	Loc.	\$4,500.00	\$234,000.00
j. Exterior and interior masonry cleaning	13900	SF	\$15.00	\$208,500.00
k. Allowance: Approx. 25% missing stone replacement	60	Unit	\$2,000.00	\$120,000.00
2 Interior Walls (Partitions)				
a. Removal/salvage of collapsed masonry debris	8800	SF	\$40.00	\$352,000.00
b. Removal/salvage of unstable partition walls	80	LF	\$750.00	\$60,000.00
c. Full repointing of remaining partition walls	5500	SF	\$25.00	\$137,500.00
d. Cleaning of remaining partition walls	5500	SF	\$15.00	\$82,500.00
3 Windows and Doors				
a. Removal of non-original window/door infill at 1st floor	18	Loc.	\$1,500.00	\$27,000.00
Subtotal, Work Area B: Center Building				\$5,377,700.00

Work Area/Item	Quantity	Unit	Unit Cost	Total
C. South Wing				
1 Exterior Walls				
a. Plant removal	3000	SF	\$15.00	\$45,000.00
b. Shoring/removal of modern structural interventions			Varies	\$199,000.00
c. Concrete bracing columns	2	Loc.	\$25,000.00	\$50,000.00
d. Reconstruction of out-of-plumb west elevation and south bay	1900	SF	\$1,000.00	\$1,900,000.00
e. Parapet reconstruction	230	LF	\$2,000.00	\$460,000.00
f. Full repointing of exterior and interior masonry	13670	SF	\$25.00	\$341,750.00
g. Isolated crack and spall repairs, masonry reconstruction	942		Varies	\$1,037,200.00
h. Interior sill repair/waterproofing	60	Loc.	\$1,500.00	\$90,000.00
i. Iron window channel painting/caulking/brick repair	41	Loc.	\$3,250.00	\$133,250.00
j. Steel I-beam window lintel replacement	10	Loc.	\$5,500.00	\$55,000.00
k. Exterior and interior masonry cleaning	13670	SF	\$15.00	\$205,050.00
l. Allowance: Approx. 25% missing stone replacement	45	Unit	\$2,000.00	\$90,000.00
2 Floor Structure				
a. Modification of steel I-beam ends	42	Loc.	\$1,500.00	\$63,000.00
b. Removal of concrete floor structures south of center building	75	LF	\$500.00	\$37,500.00
c. Scrape/prime/paint all steel framing to remain	1	Lump	\$45,000.00	\$45,000.00
3 Windows and Doors				
a. Removal/documentation/salvage of original door/window elements	42	Loc.	\$1,500.00	\$63,000.00
b. Removal of non-original window/door infill at 1st floor	19	Loc.	\$1,500.00	\$28,500.00
Subtotal, Work Area C: South Wing				\$4,843,250.00

Work Area/Item	Quantity	Unit	Unit Cost	Total
D. North Wing				
1 Exterior Walls				
a. Plant removal	2000	SF	\$15.00	\$30,000.00
b. Shoring/removal of modern structural interventions			Varies	\$205,000.00
c. Concrete bracing columns	5	Loc.	\$25,000.00	\$125,000.00
d. Reconstruction of north elevation and part of northeast return elevation	4155	SF	\$1,000.00	\$4,155,000.00
e. Parapet reconstruction	220	LF	\$2,000.00	\$440,000.00
f. Full repointing of exterior and interior masonry	10400	SF	\$25.00	\$260,000.00
g. Isolated crack and spall repairs, masonry reconstruction	633		Varies	\$671,500.00
h. Interior sill repair/waterproofing	65	Loc.	\$1,500.00	\$97,500.00
i. Iron window channel painting/caulking/brick repair	22	Loc.	\$3,250.00	\$71,500.00
j. Exterior and interior masonry cleaning	10400	SF	\$15.00	\$156,000.00
k. Allowance: Approx. 25% missing stone replacement	155	Unit	\$2,000.00	\$310,000.00
2 Interior Walls (Partitions)				
a. Removal/salvage of unstable partition walls	40	LF	\$750.00	\$30,000.00
b. Full repointing of remaining partition walls	2500	SF	\$25.00	\$62,500.00
c. Cleaning of remaining partition walls	2500	SF	\$15.00	\$37,500.00
3 Floor Structure				
a. Removal of steel-and-concrete floor structures north of center building	100	LF	\$500.00	\$50,000.00
4 Windows and Doors				
a. Removal/documentation/salvage of original door/window elements	28	Loc.	\$1,500.00	\$42,000.00
b. Removal of non-original window/door infill at 1st floor	23	Loc.	\$1,500.00	\$34,500.00
Subtotal, Work Area D: North Wing				\$6,778,000.00

Work Area/Item	Quantity	Unit	Unit Cost	Total
E. Site				
1 Excavation to expose original plinth course	605	LF	\$400.00	\$242,000.00
Subtotal, Work Area E: Site				\$242,000.00
TOTAL, WORK AREAS A-E				\$20,025,950.00
CONTINGENCY (20%)				\$4,005,190.00
GRAND TOTAL				\$24,031,140.00

Notes:

- 1 2019 numbers, prevailing wage, adjusted for inflation.
- 2 Assumes a project schedule of 36 months.

Budget Exclusions:

- 1 Site regrading.
- 2 Landscape design.
- 3 Replacement of window and door elements at 1st floor.
- 4 Salvage and restoration of remaining interior wall and floor finishes.
- 6 Salvage and reconstruction of 4-story internal stair in the north wing.
- 7 Materials testing/carving of Cornell Tech excavated stone.
- 8 Inventory of salvaged stone on pallets in east yard.
- 9 Preparation of construction documents and construction administration.