



# Ez Kickz

By: Juan Magana



# Site Analysis

- 16 Main Street, Brooklyn  
11201
- Block : 26'
- Lot: 33
- Lot area: 60' x 85.5'
- Main Zoning: m3-1

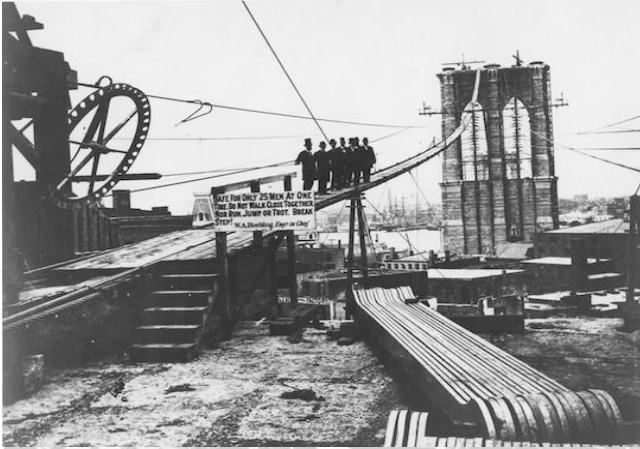


# History of DUMBO

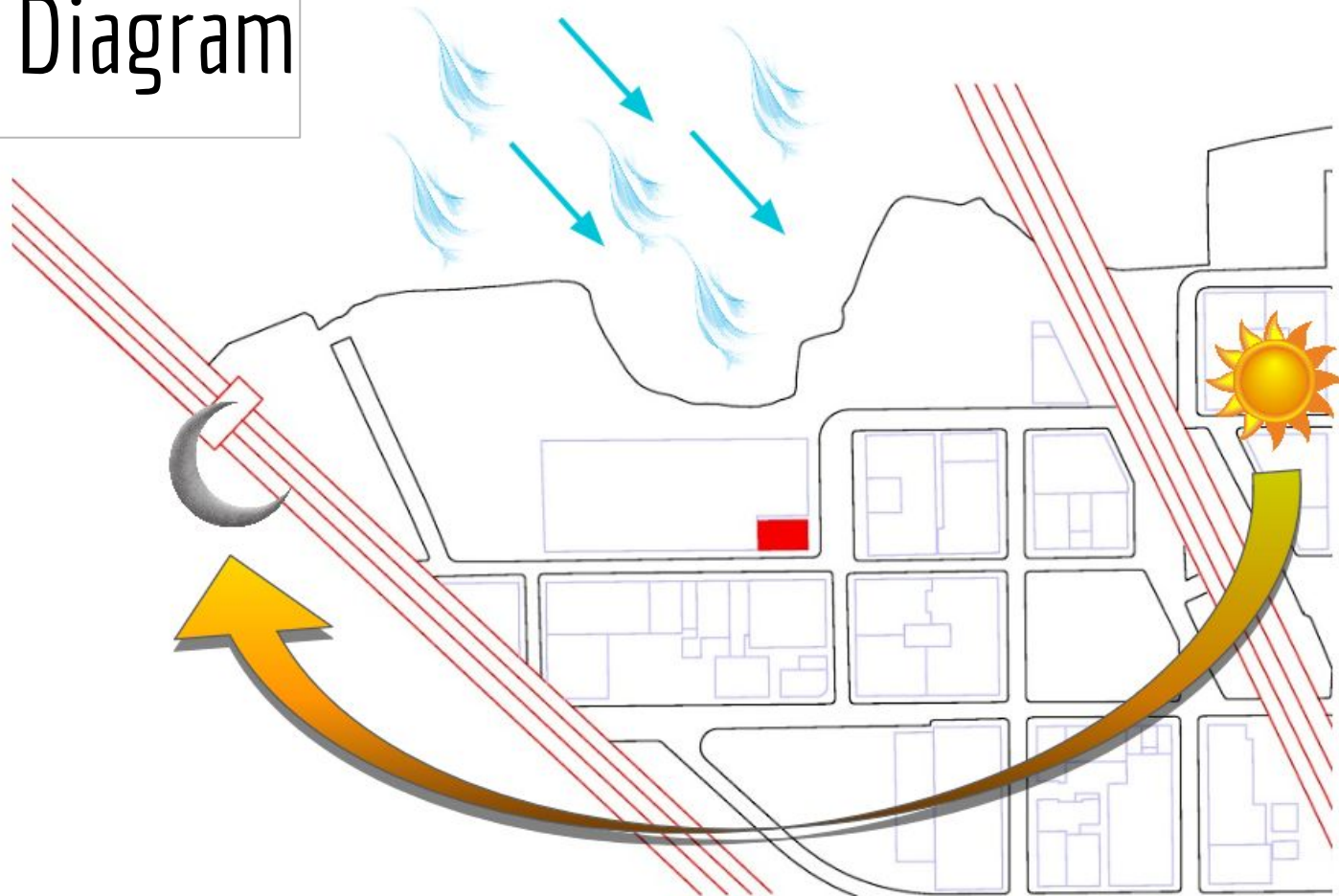
DUMBO is located in the New York City Borough of Brooklyn between the Brooklyn Bridge and Manhattan Bridge. Back in the old days the area was known as 'Gairville' and was later changed to its former current name D.U.M.B.O which stands for, "Down Under the Manhattan Bridge Overpass". This beautiful site is in connection with the East River and Vinegar Hill towards the East right side along the Manhattan Bridge.

During the 1880's Dumbo was discovered by Robert Gair when he stumbled upon a small location that had easy shipping access located north of the new Brooklyn Bridge. The neighborhood area contained a large growth population that was full of factories, warehouses and dock storehouses, and later had a ferry landing.

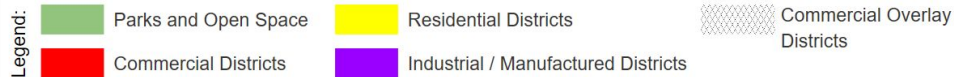
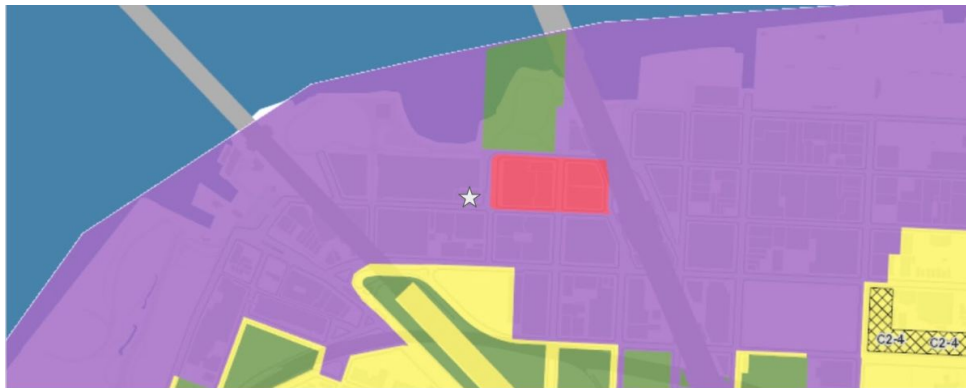
Till this day as you visit the streets of Dumbo you will find yourself either walking or driving on the original old cobblestone pavements that is still in complete tact with its environment. Also, you will start to come across the new and updated changes of what Dumbo looks like now and how it changed. Old factories were converted into these beautiful luxury lofts and old warehouses are now converted into art galleries and theaters.



# Sun Diagram



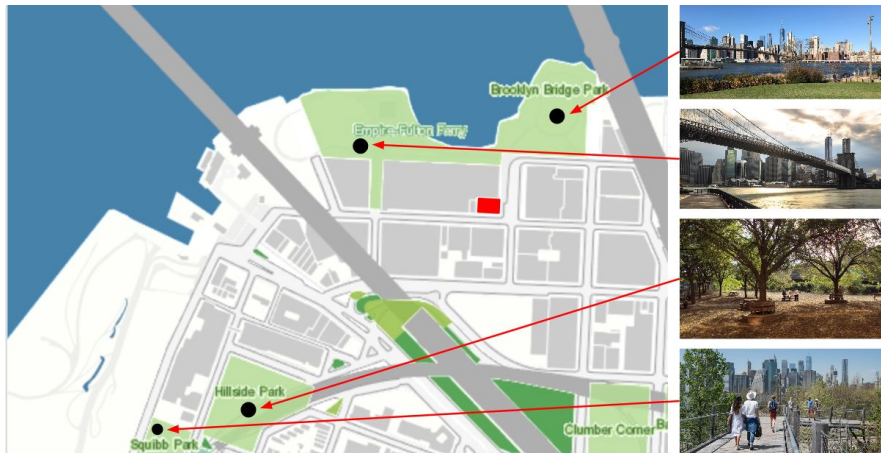
## Neighborhood context



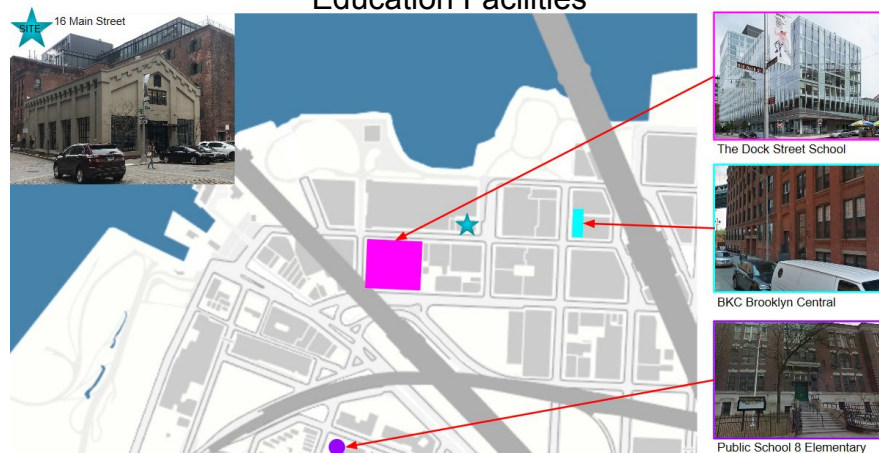
## Figure Ground



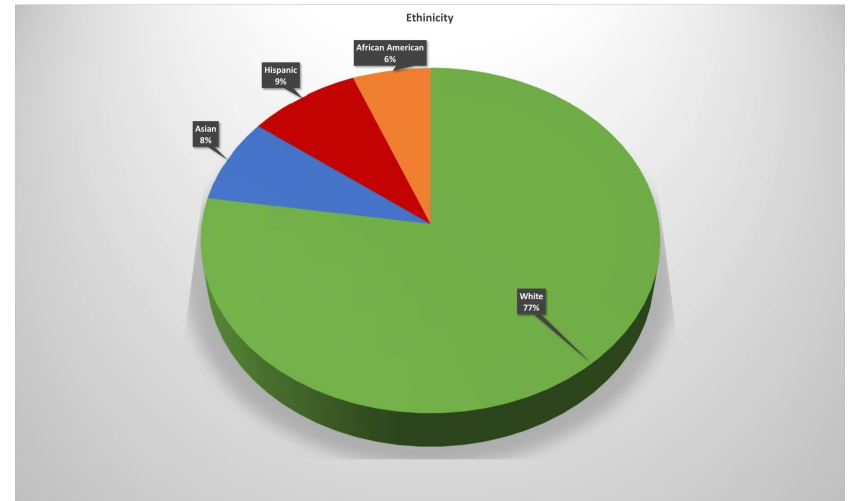
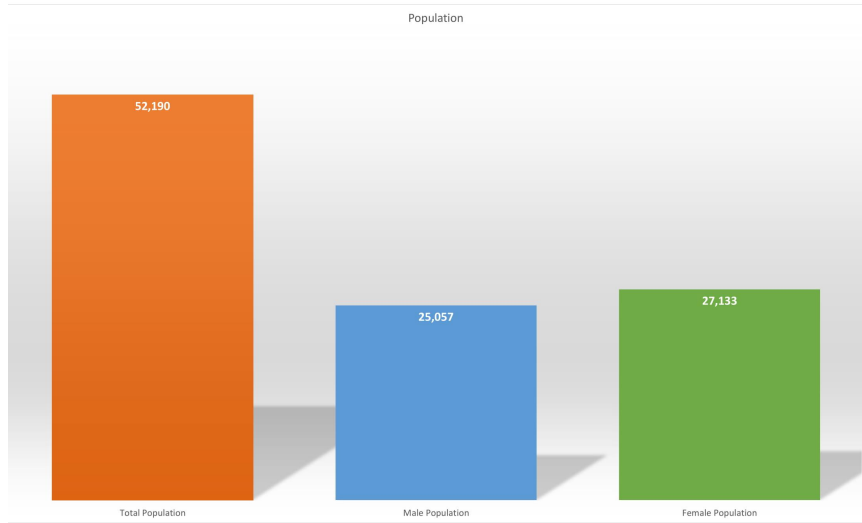
## Green space



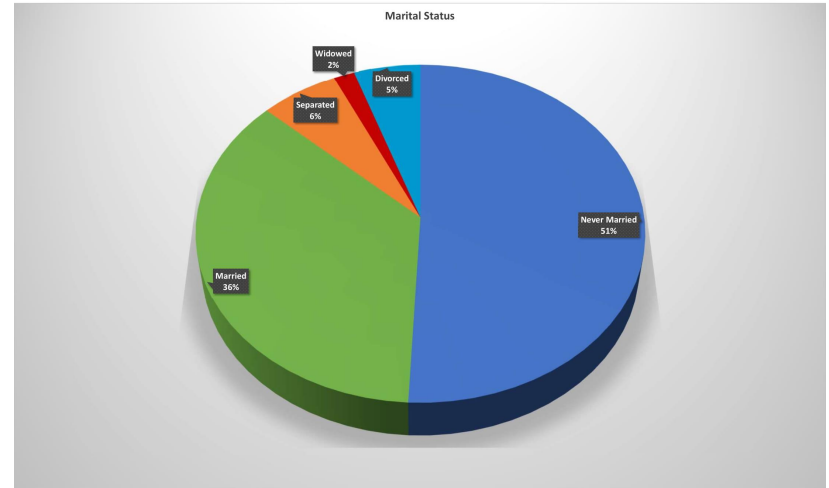
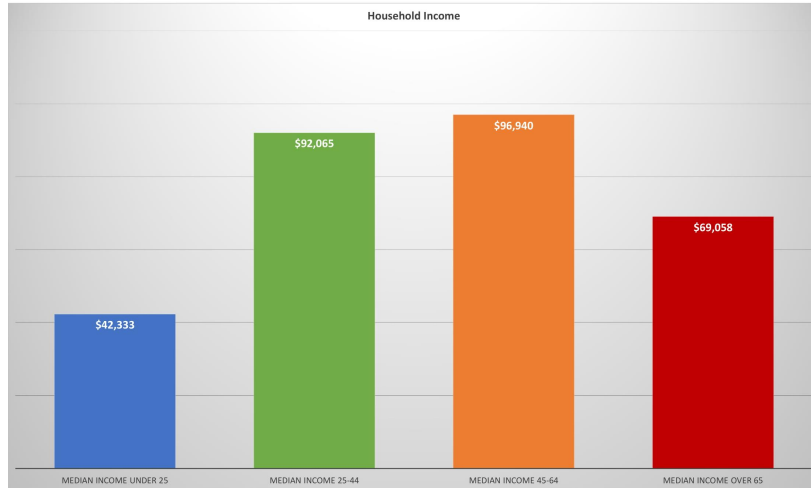
## Education Facilities



# Demographics



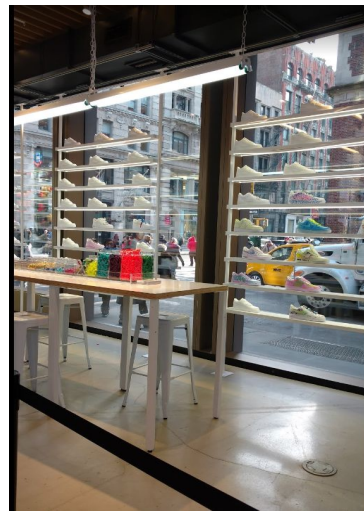
# Demographics



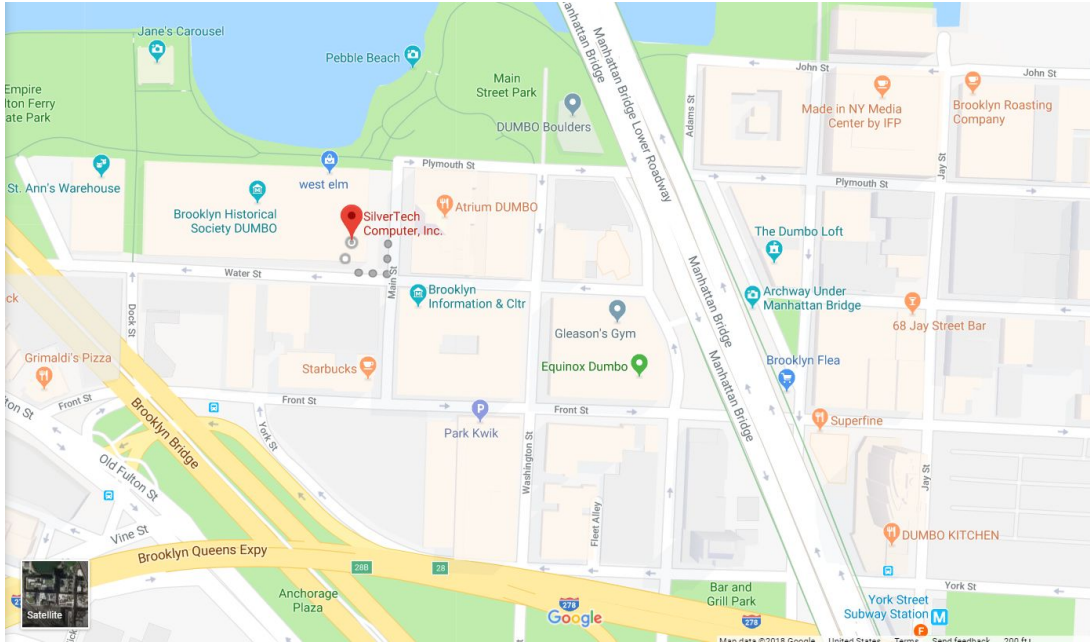
# Precedent Study







# How I came up with a soccer store



- No soccer store nearby
- My favorite sport
- Many young people live around the area
- Plenty of green space near by

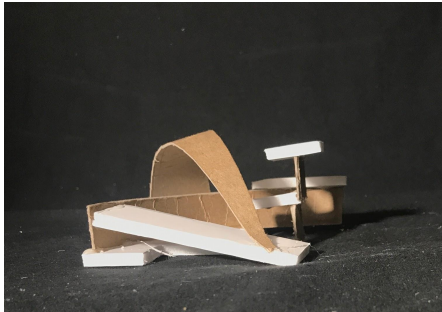
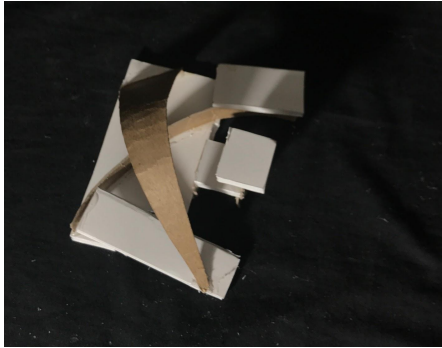
source : google Maps

# Logo

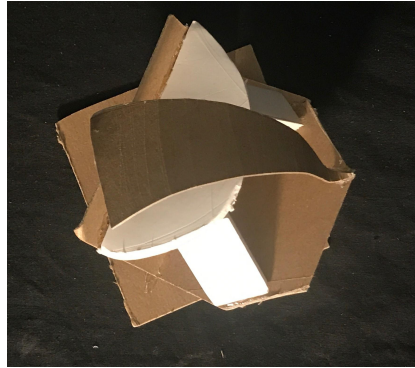


# Study Models

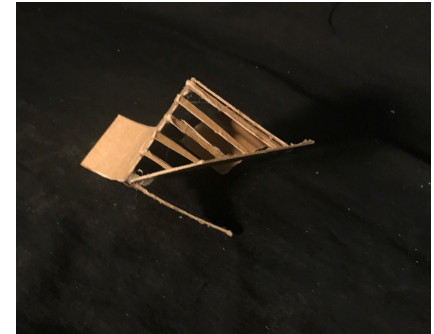
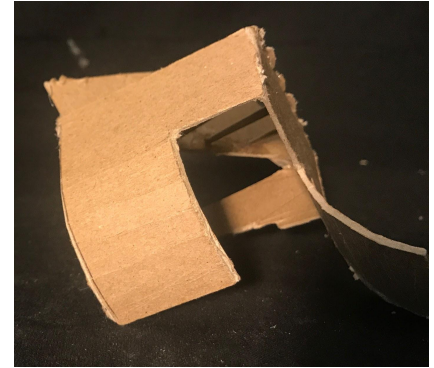
Study Model 1



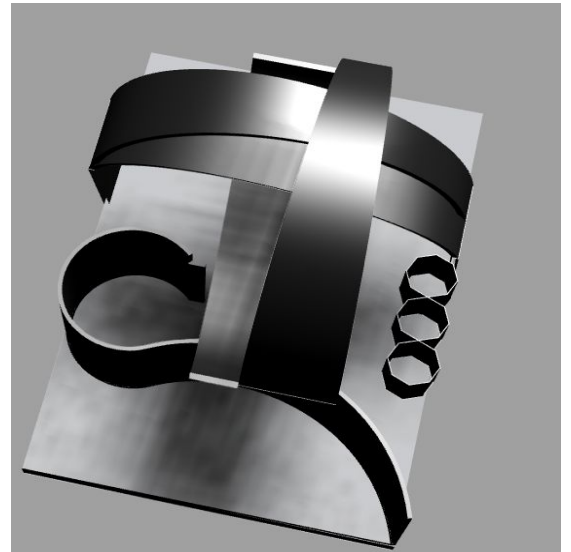
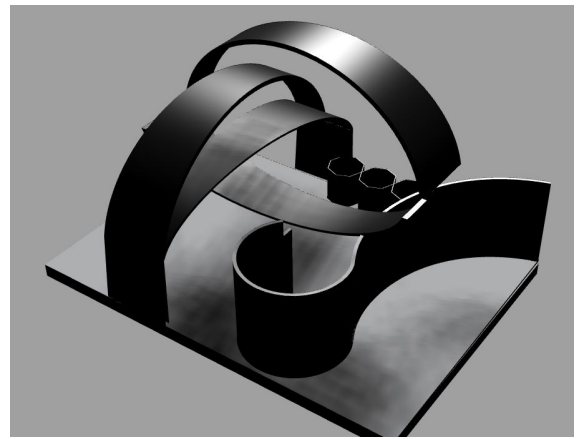
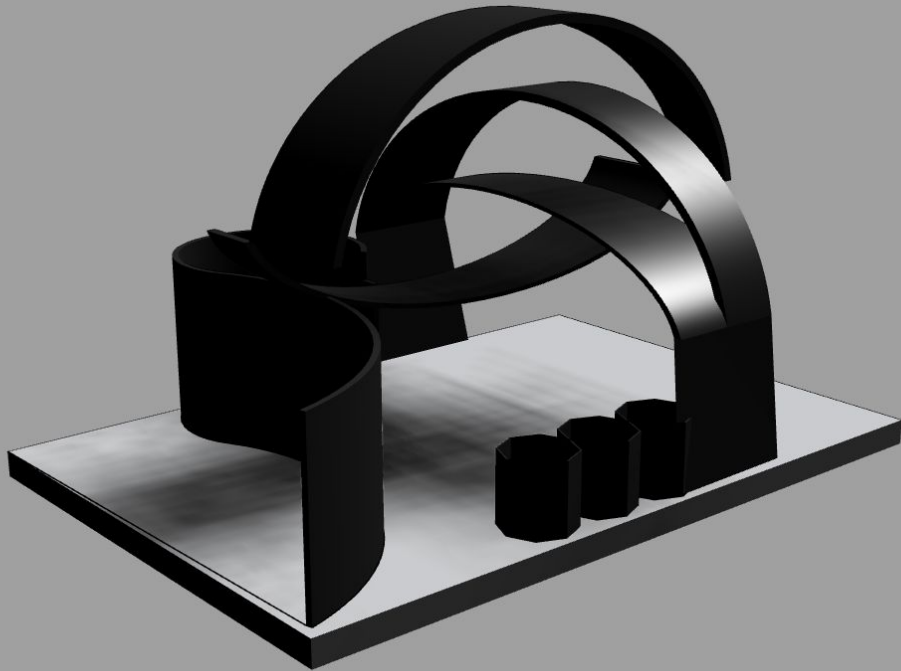
Study Model 2



Study Model 3



# Concept model



# Diagrams

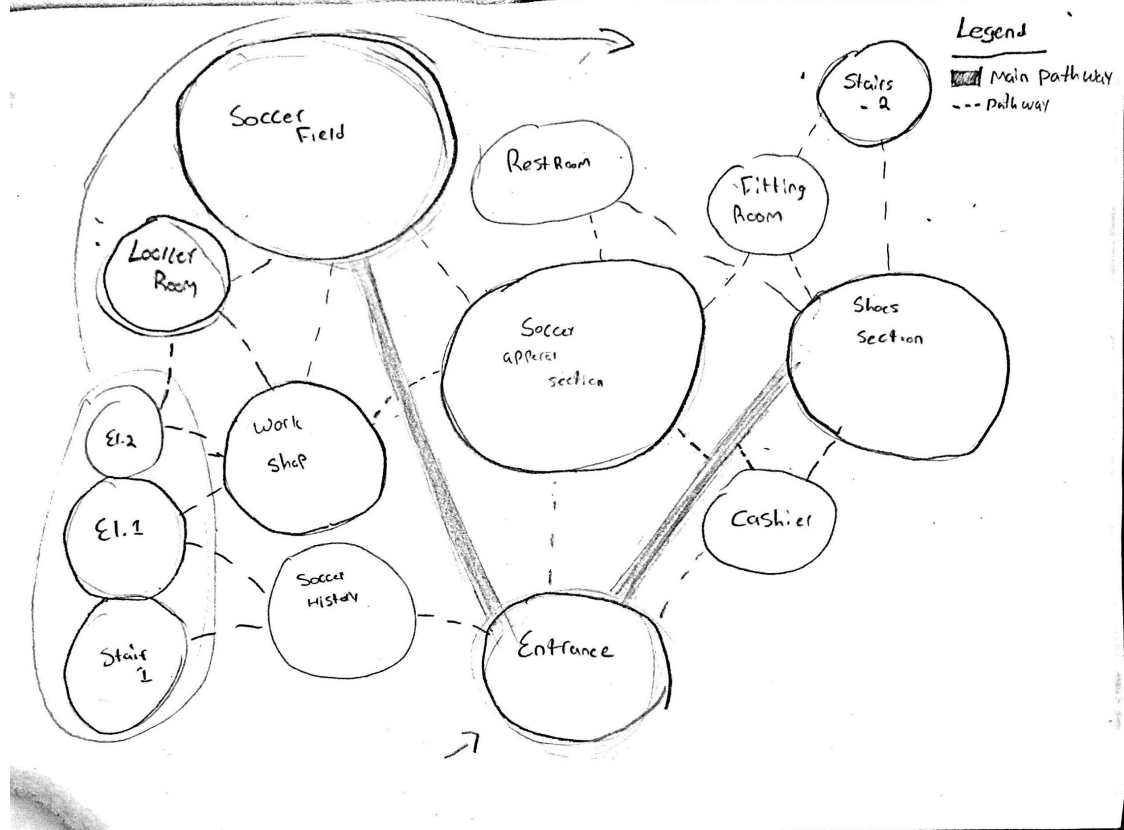
Criteria Matrix	SqFT	Accessibility	Public Access	Daylight and view	Privacy	Acoustics	Special Features
Cashier (2)	1000 SqFT		H	Y	N	N	
Shoes Section	4000 SqFT		H	Y	N	N	Y
Soccer apparel section	2200 SqFT		M	Y	M	Y	Y
Staff lounge	600 SqFT		L	Y	H	Y	N
Sport category Section	450 SqFT		H	Y	N	N	N
Restroom	200 SqFT		H	N	H	Y	N
Work shop/printing	900 SqFT		M	Y	M	N	Y
Fitting Room	200 SqFT		M	N	H	N	N
Special events section/seating area	1,000 SqFT		M	N	L	Y	Y
Storage	4100 SqFT		L	N	H	N	N
Elevator (2)	80 SqFT		H	Y	N	N	Y
Stairs (2)	110		H	Y	N	N	N
14 Storey	4700 SqFT		H	N	N	N	Y

Total SqFT = 62910

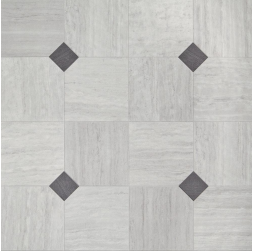
SqFT = 5380

Legends

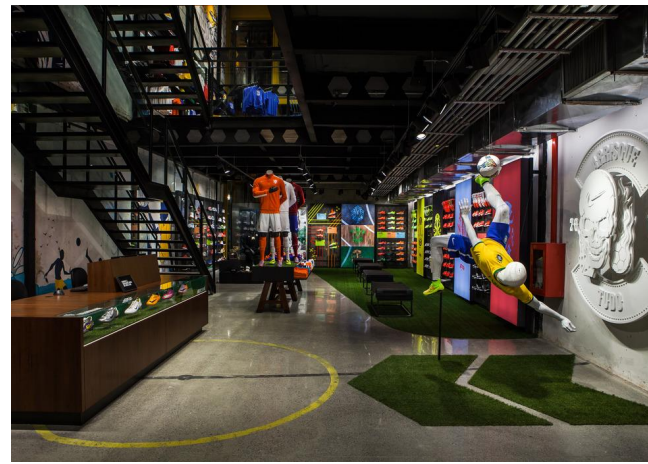
H = High  
M = Medium  
L = Low  
Y = Yes  
N = No/None



# Floor Plan 1

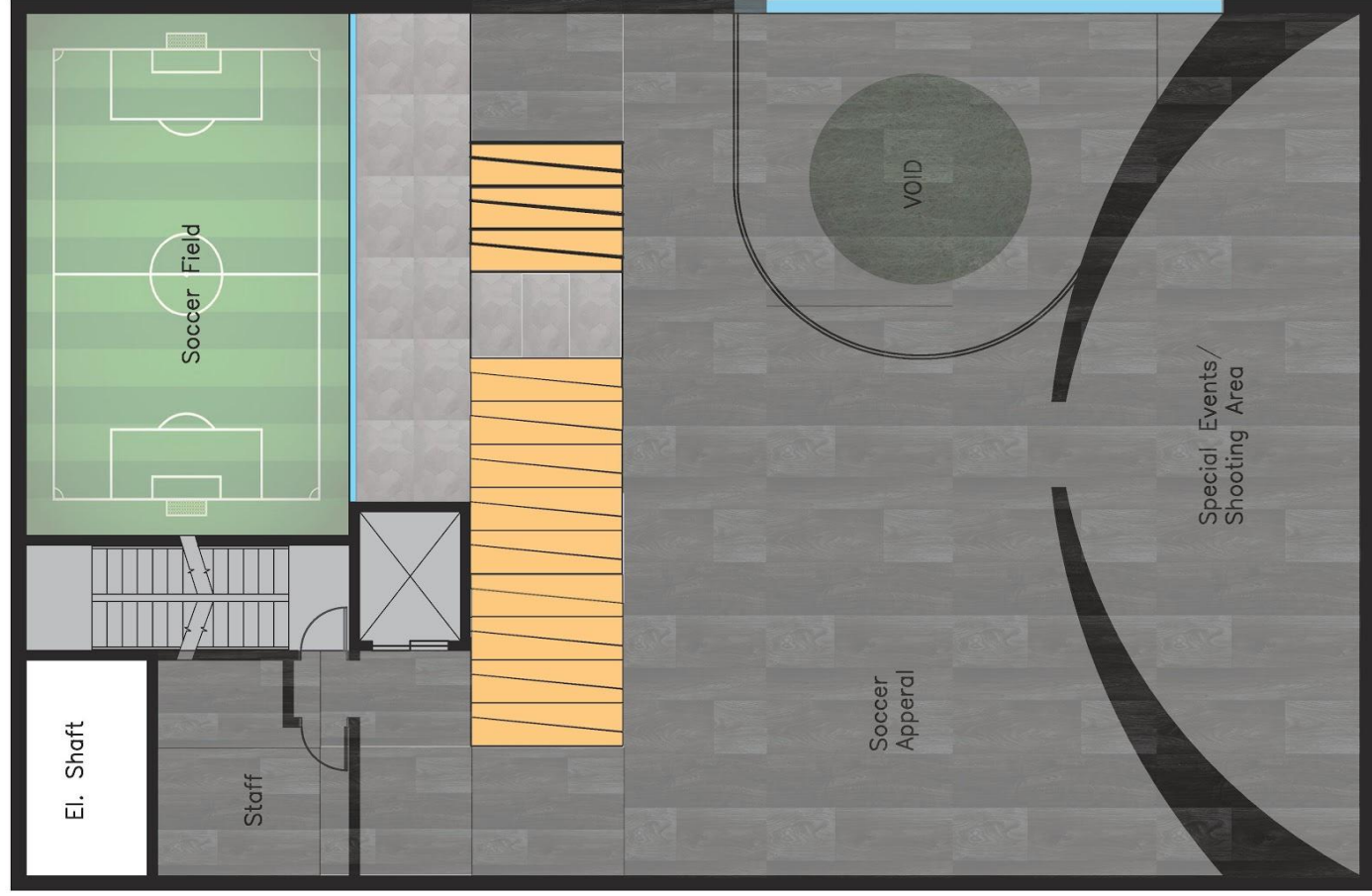
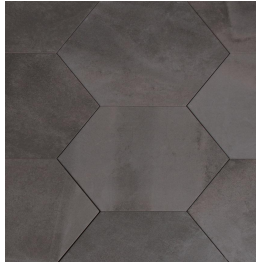


# Ideas

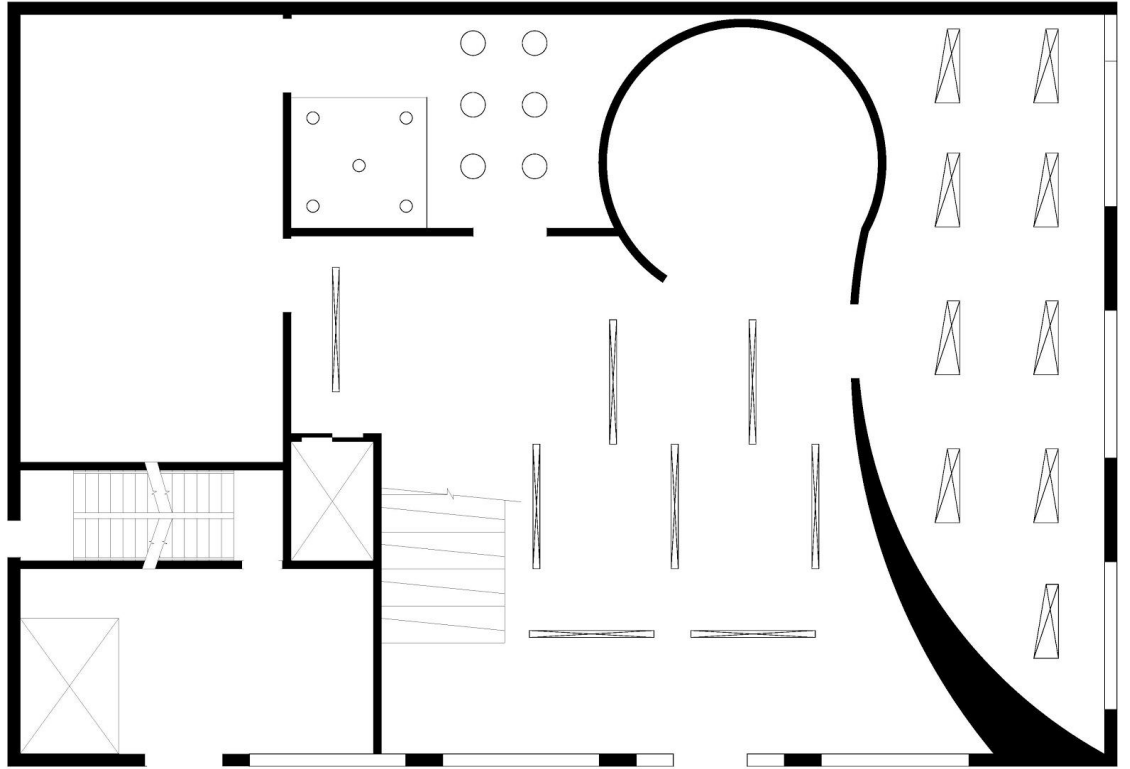
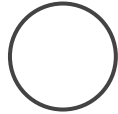




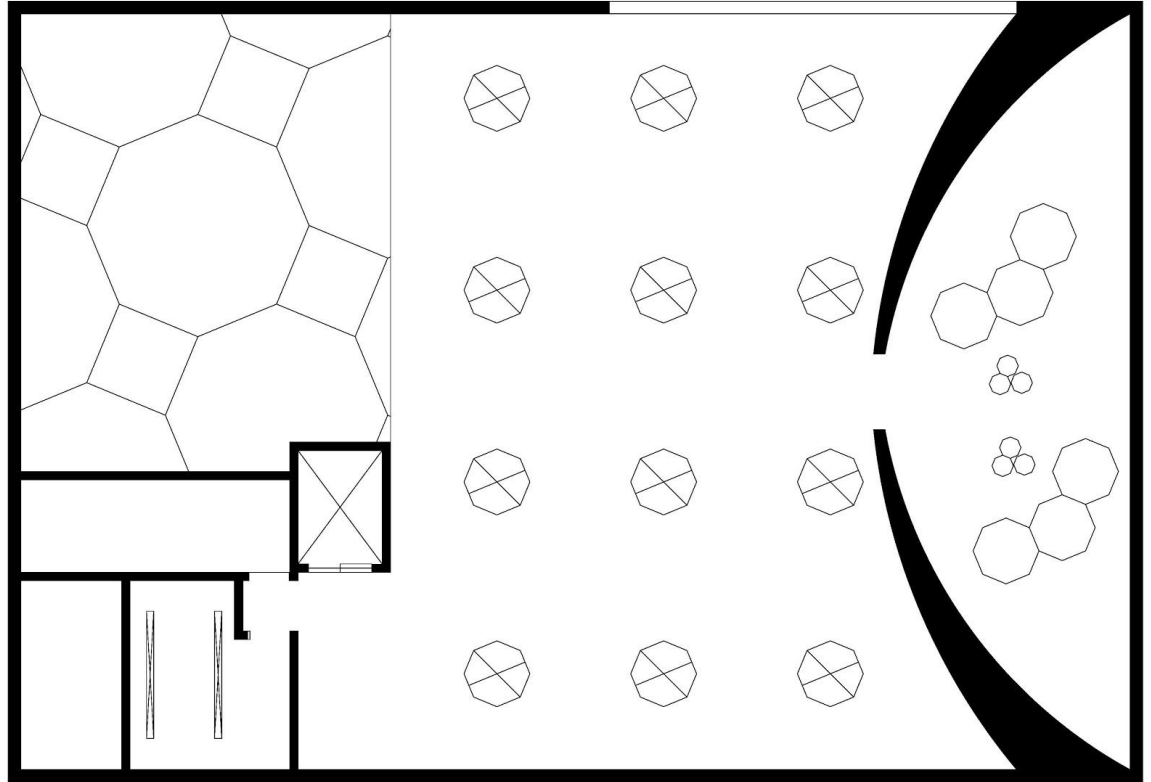
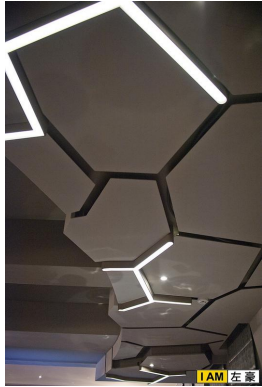
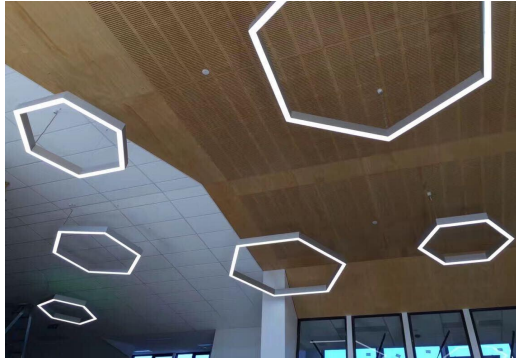
# Floor Plan 2



# Reflected floor Plan 1



# Reflected Floor Plan 2



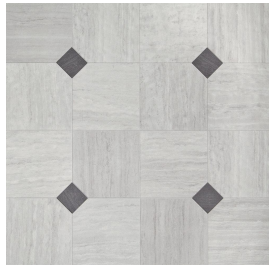
Front Elevation

# Side Elevation

# Section



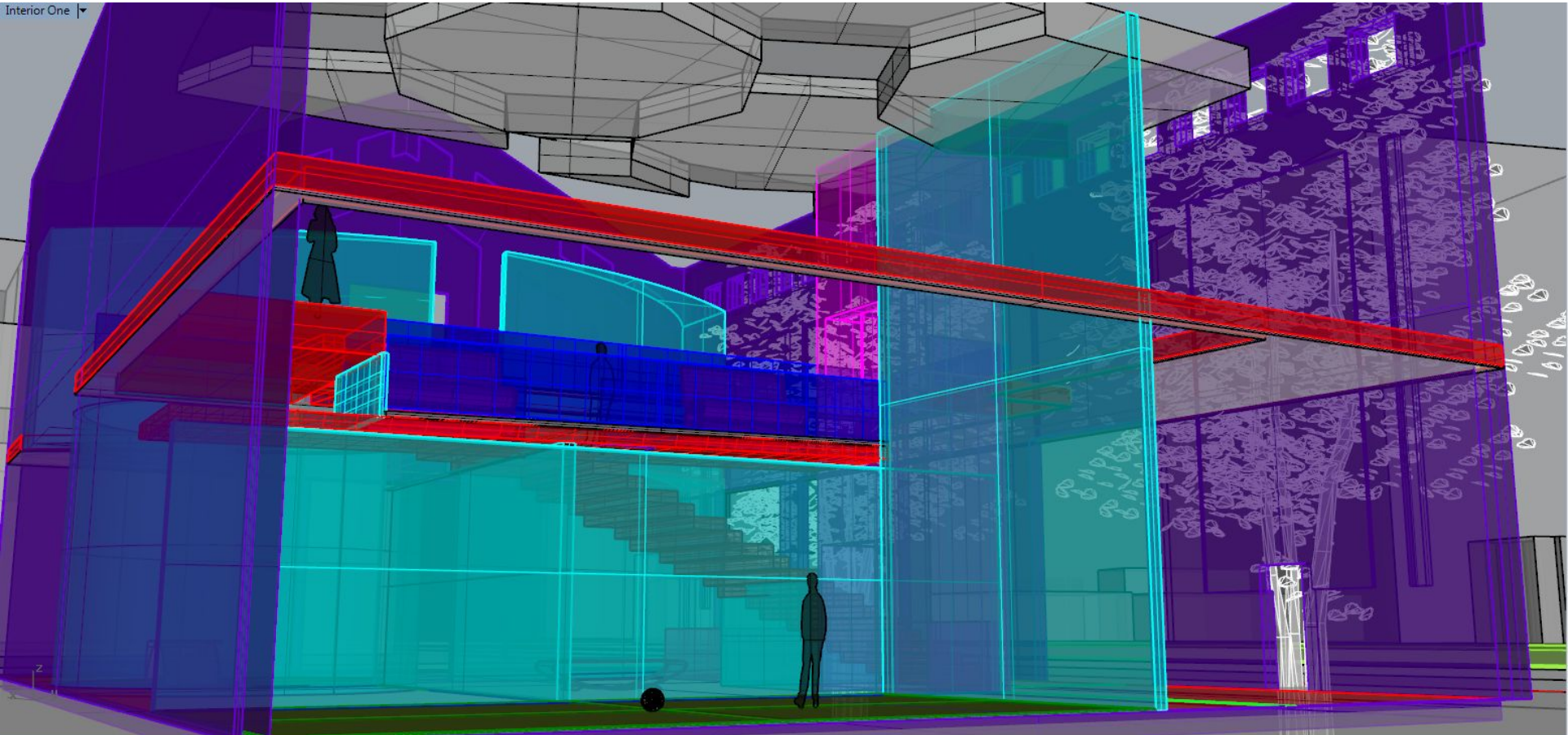
# Restroom Section



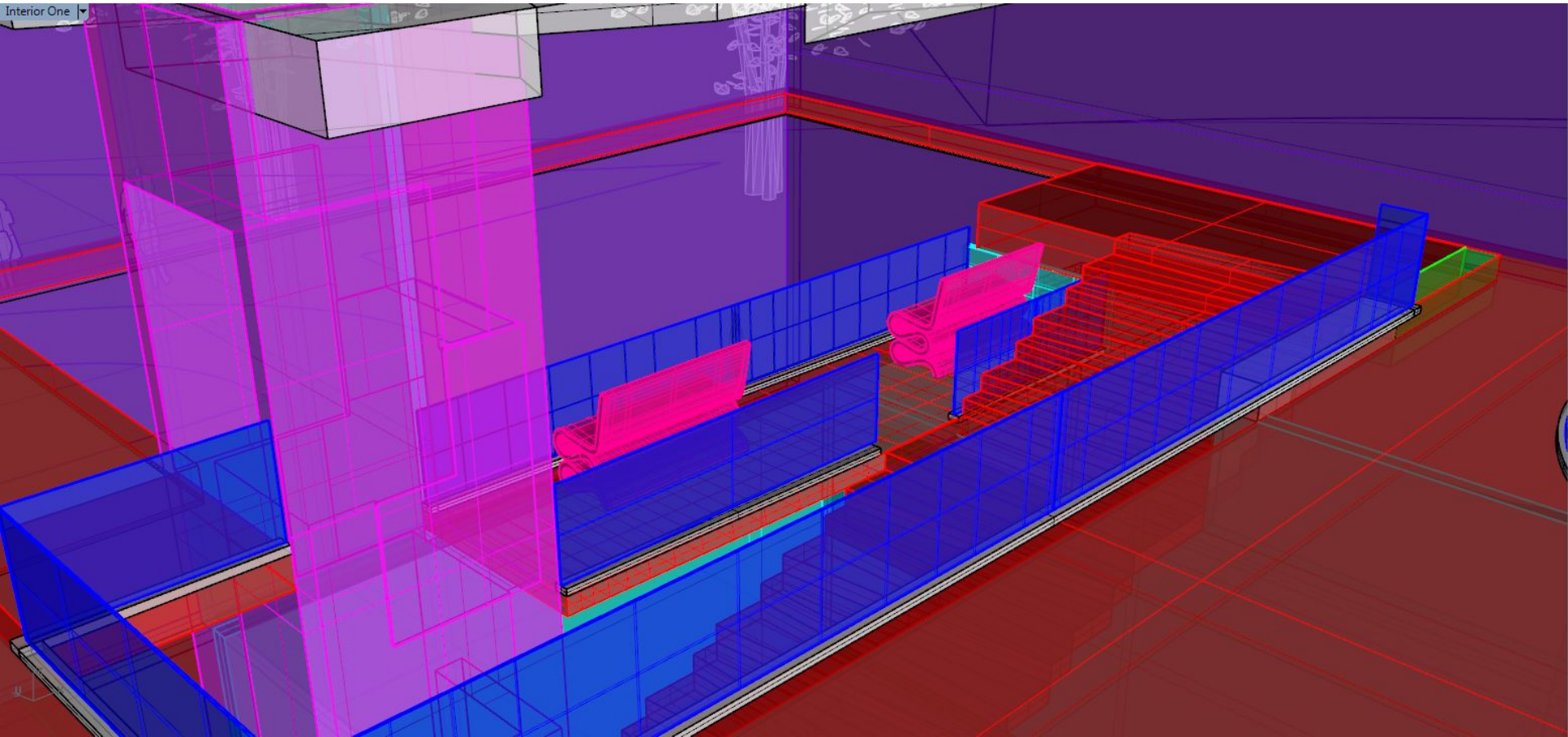




# RENDERS (COMING SOON)



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