



Brooklyn

Block 107; Lot 01

Zoning District:
C6-02

38,246 Square ft.

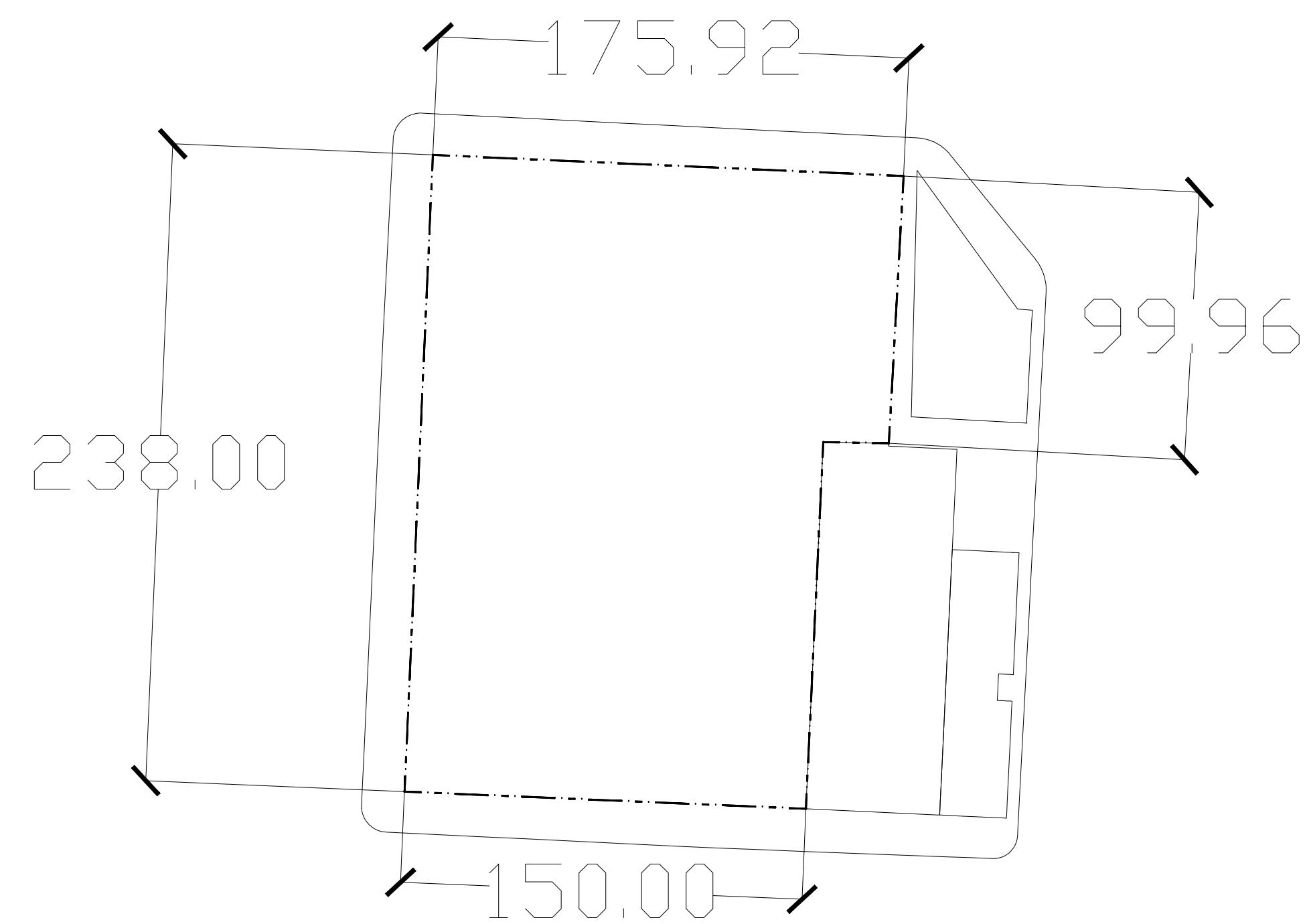
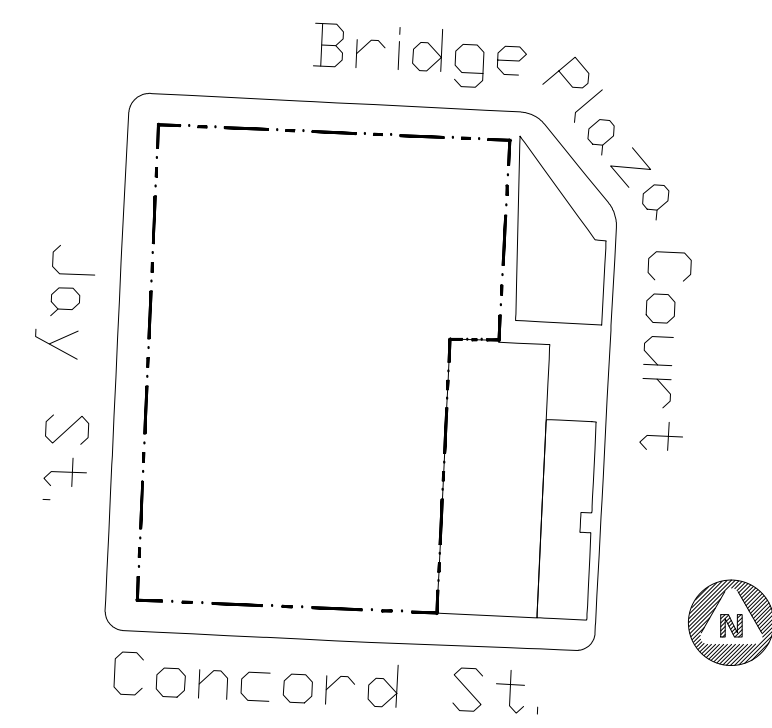
F.A.R: 6.5

Lot Coverage:

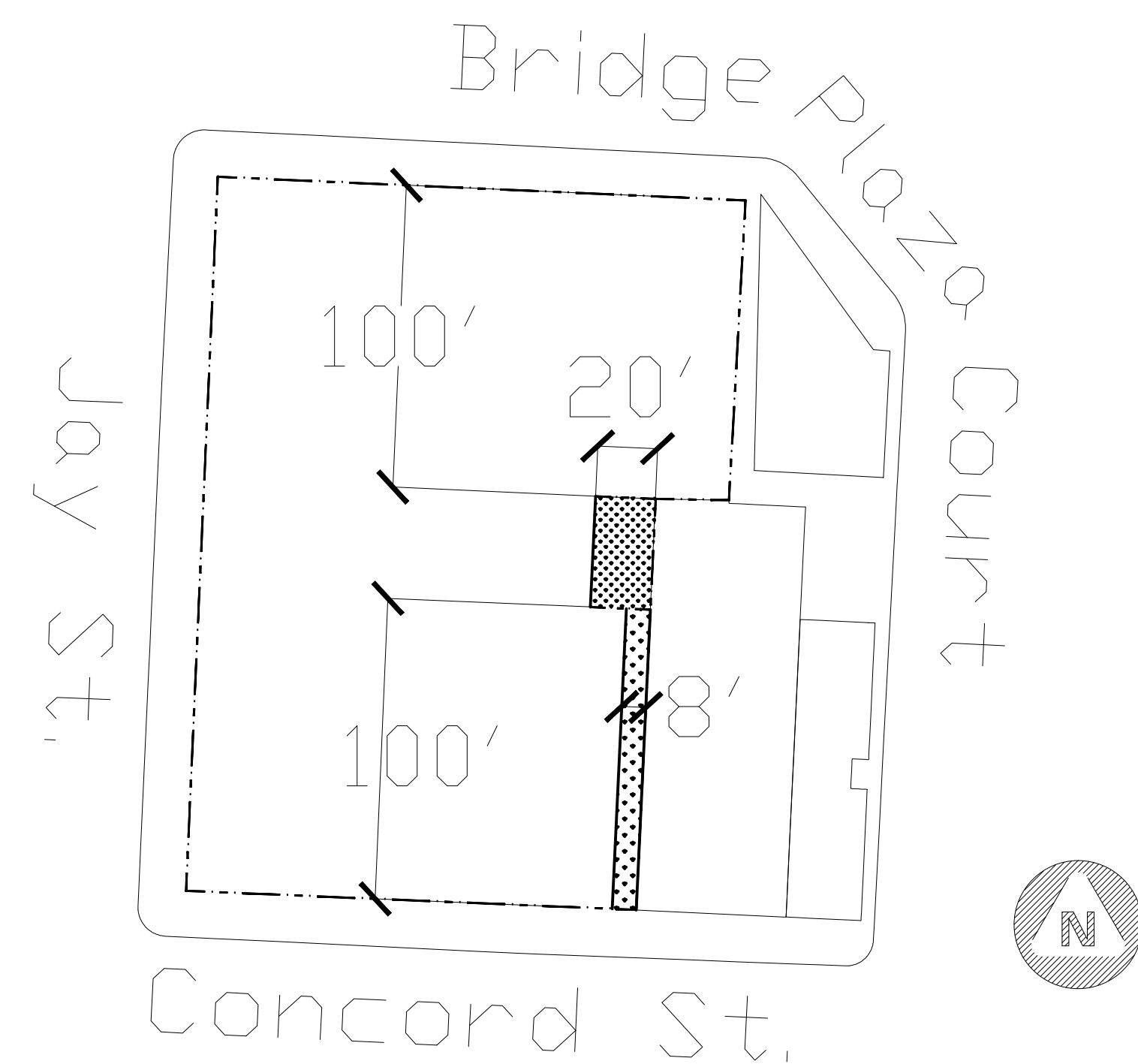
Owned by: Chicago

Title Insurance Co.

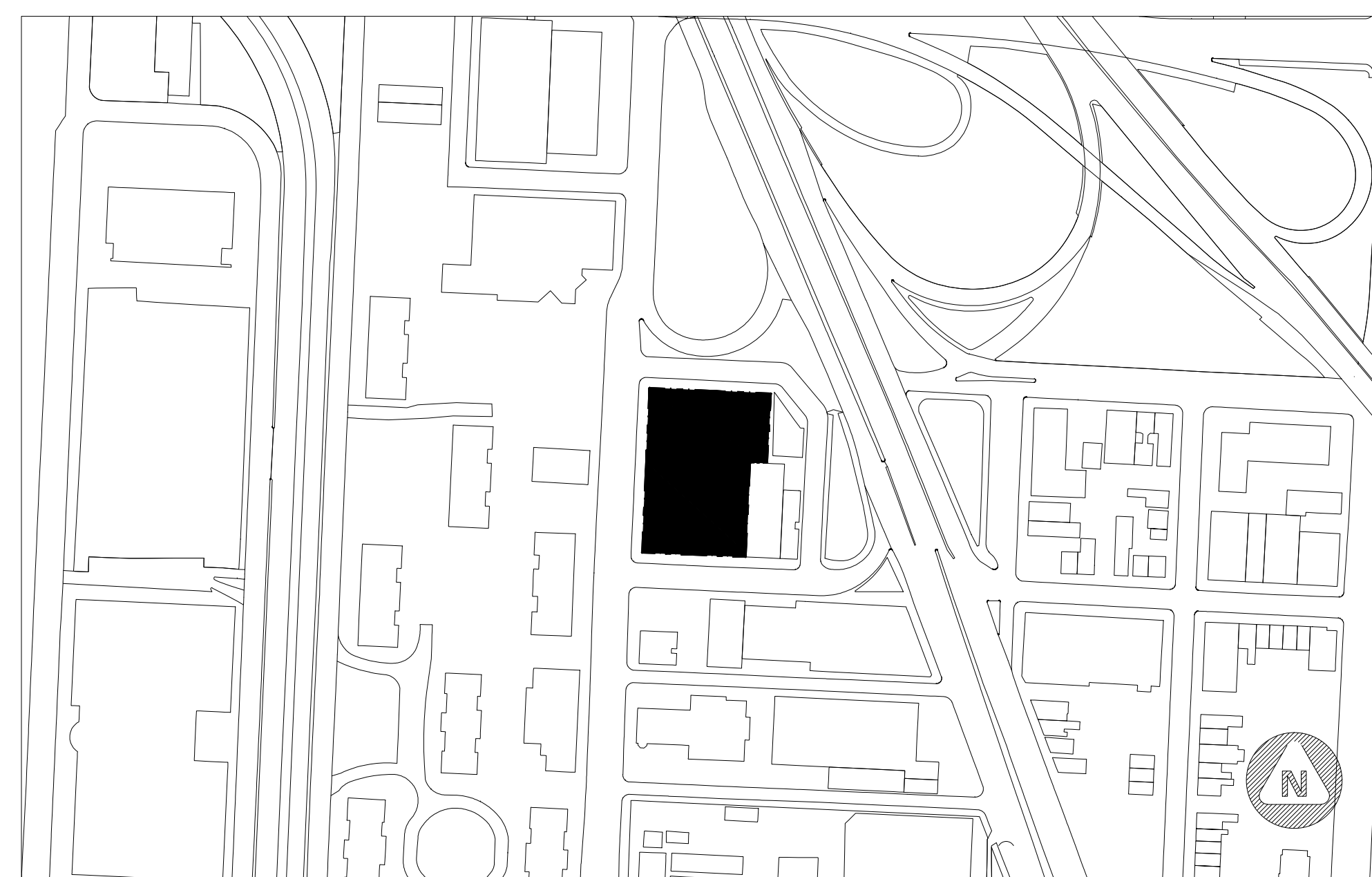
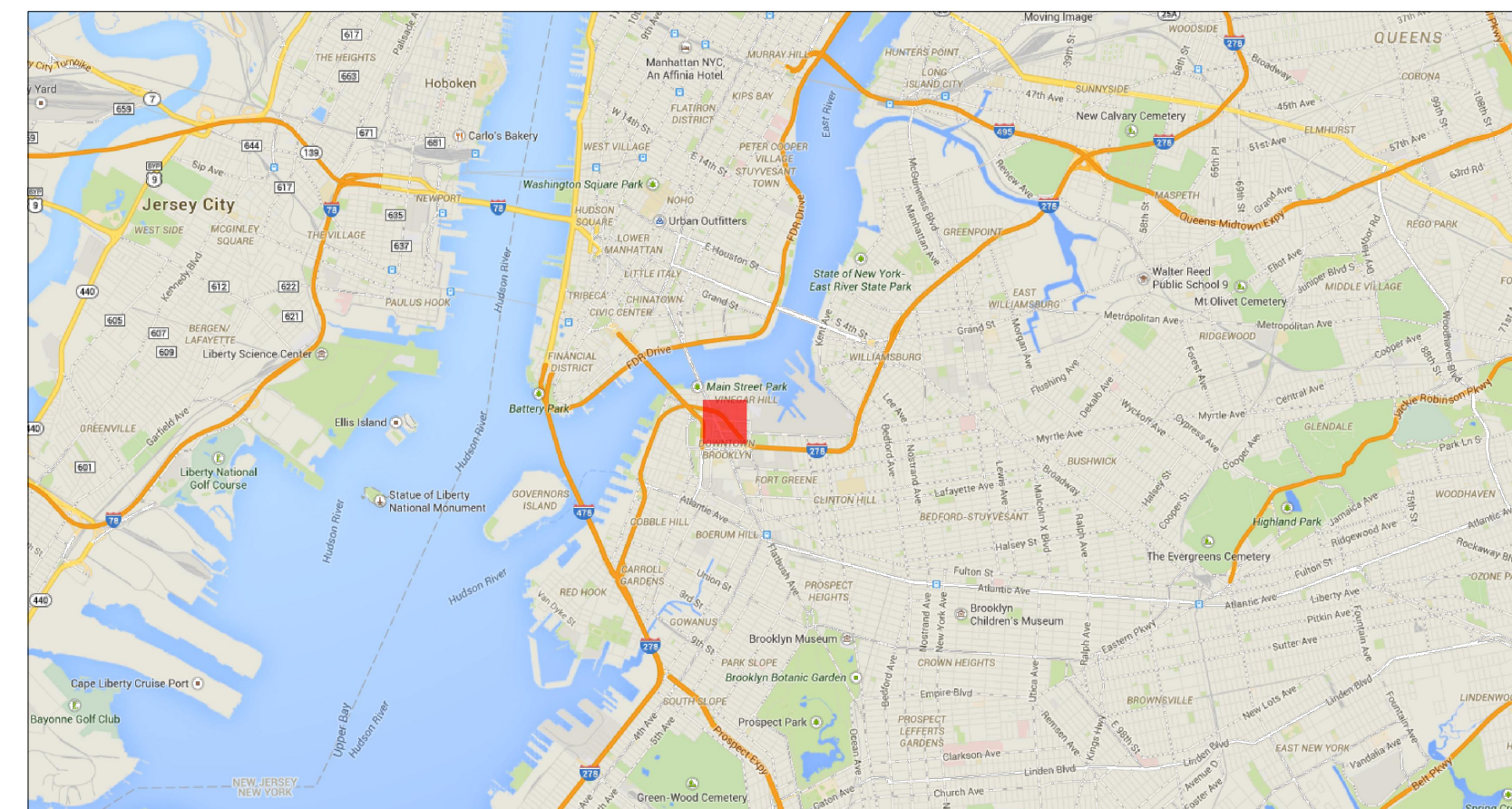
Use Group 3&4



01 Brooklyn, Block 107, Lot 01
A-101 3/8" = 1'-0"



01 Brooklyn, Block 107, Lot 01
A-101 3/8" = 1'-0"



02 Brooklyn, Block 107, Lot 01
A-101 1/16" = 1'-0"

ZONING SHEET

199-201 JAY STREET
BROOKLYN NY 11201

Name: Ngawang Tseten
Address
Email: Tseten432@gmail.com

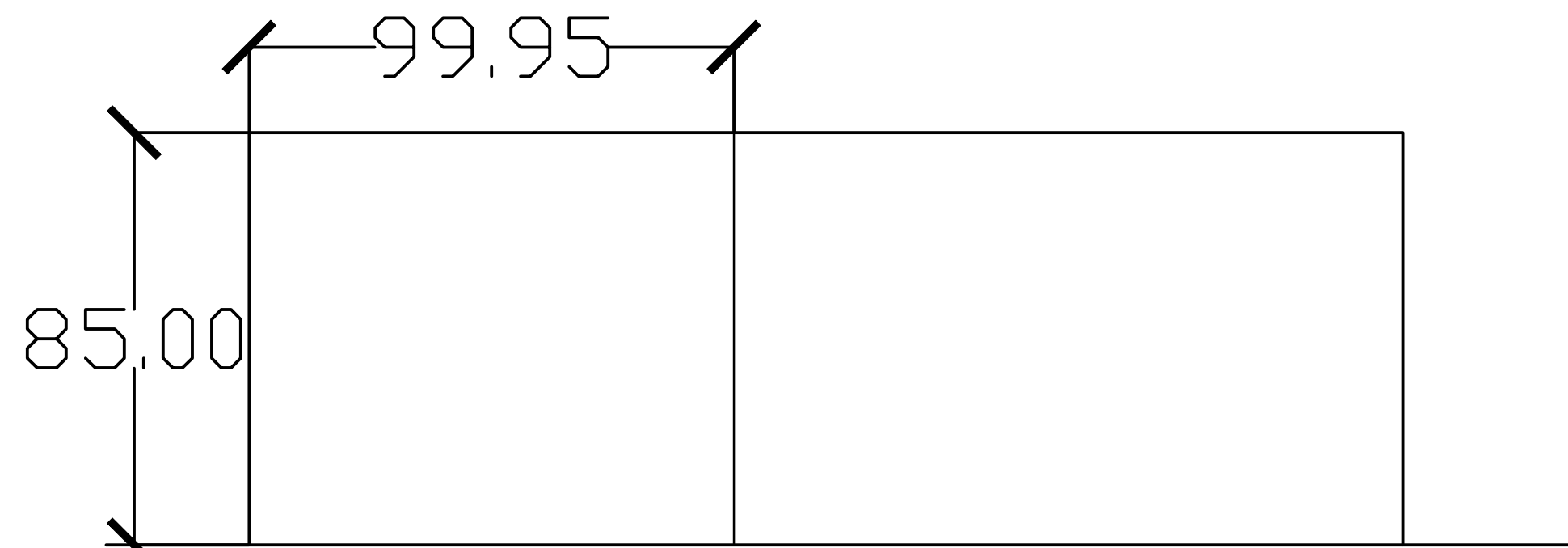
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ZONING SHEET

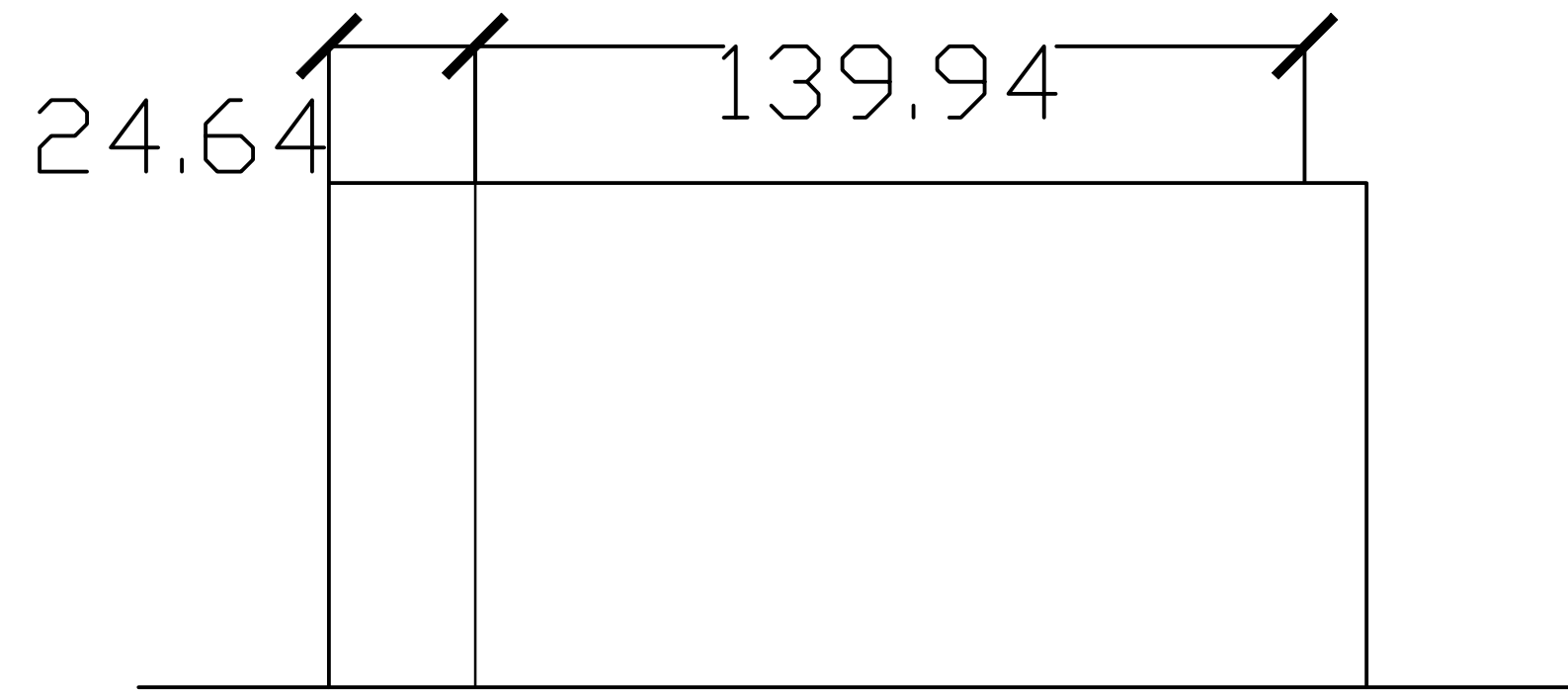
1 Issue Date

NEVINHAL, NGAWANG TSETEN
Professor Paul King

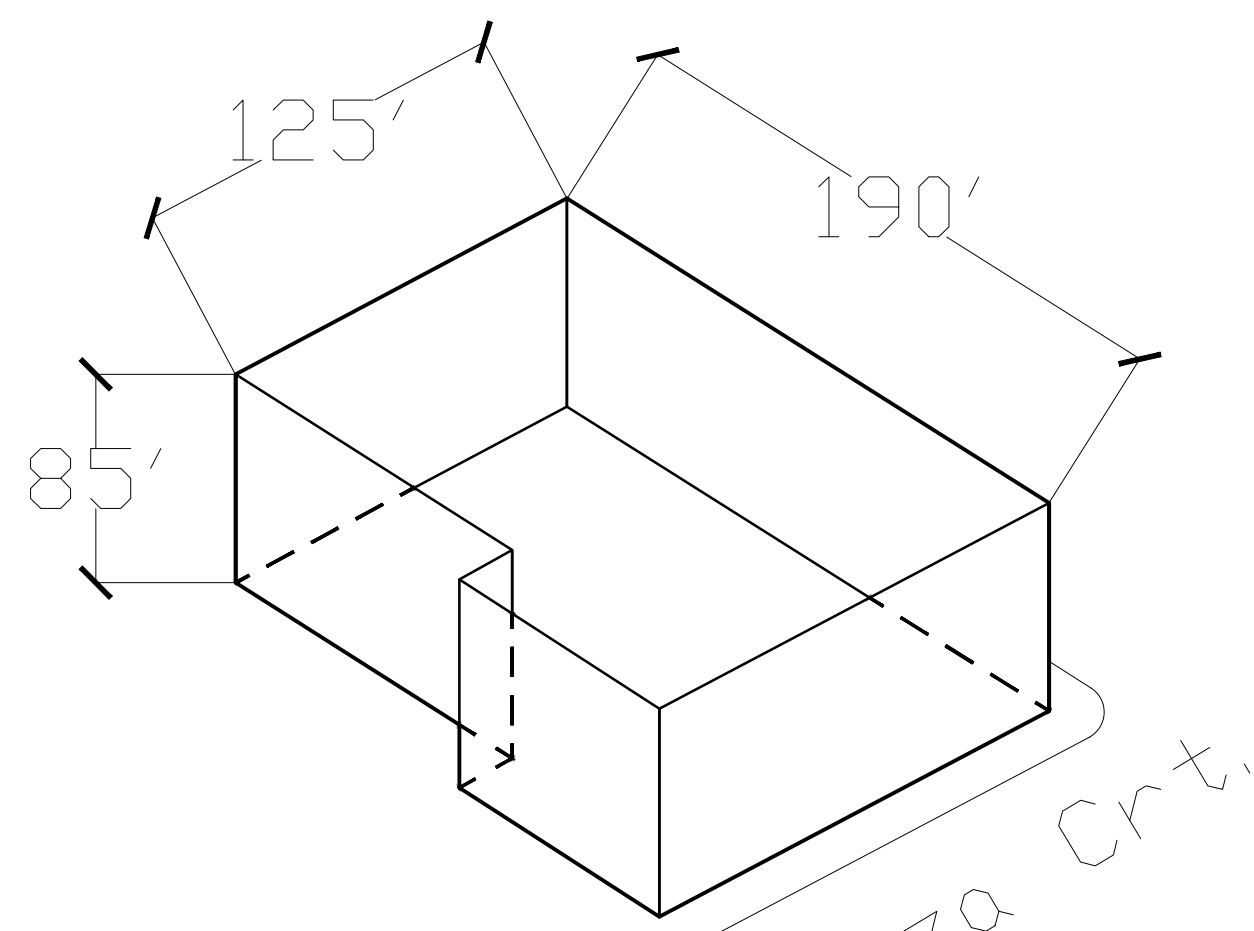
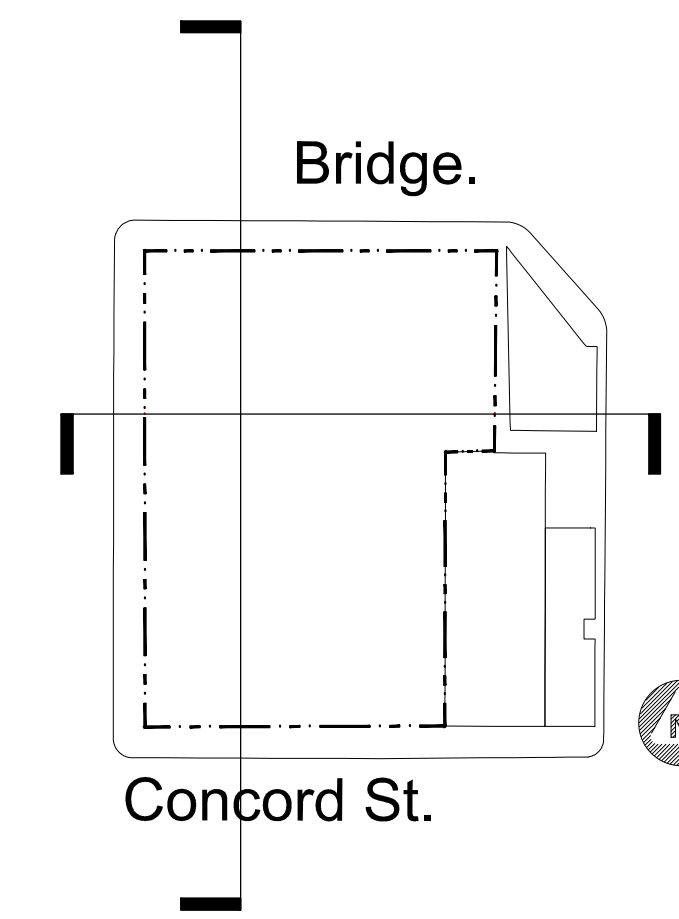
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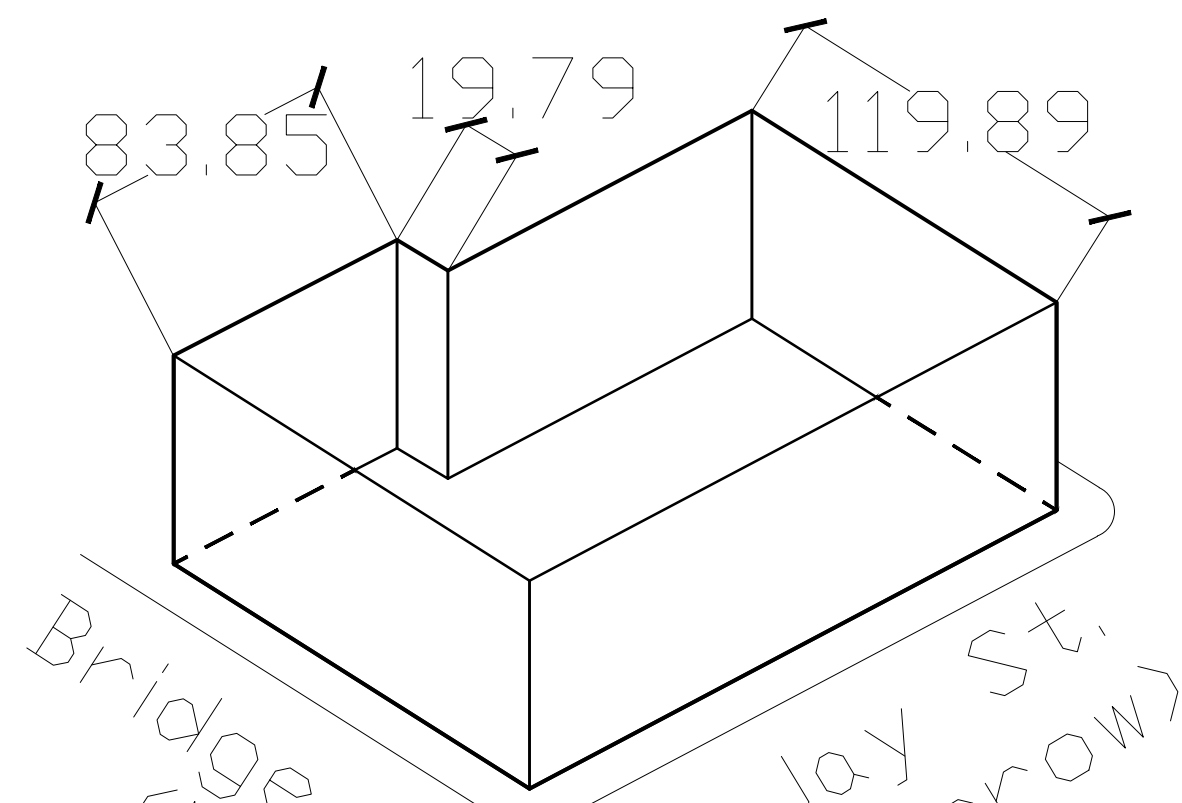
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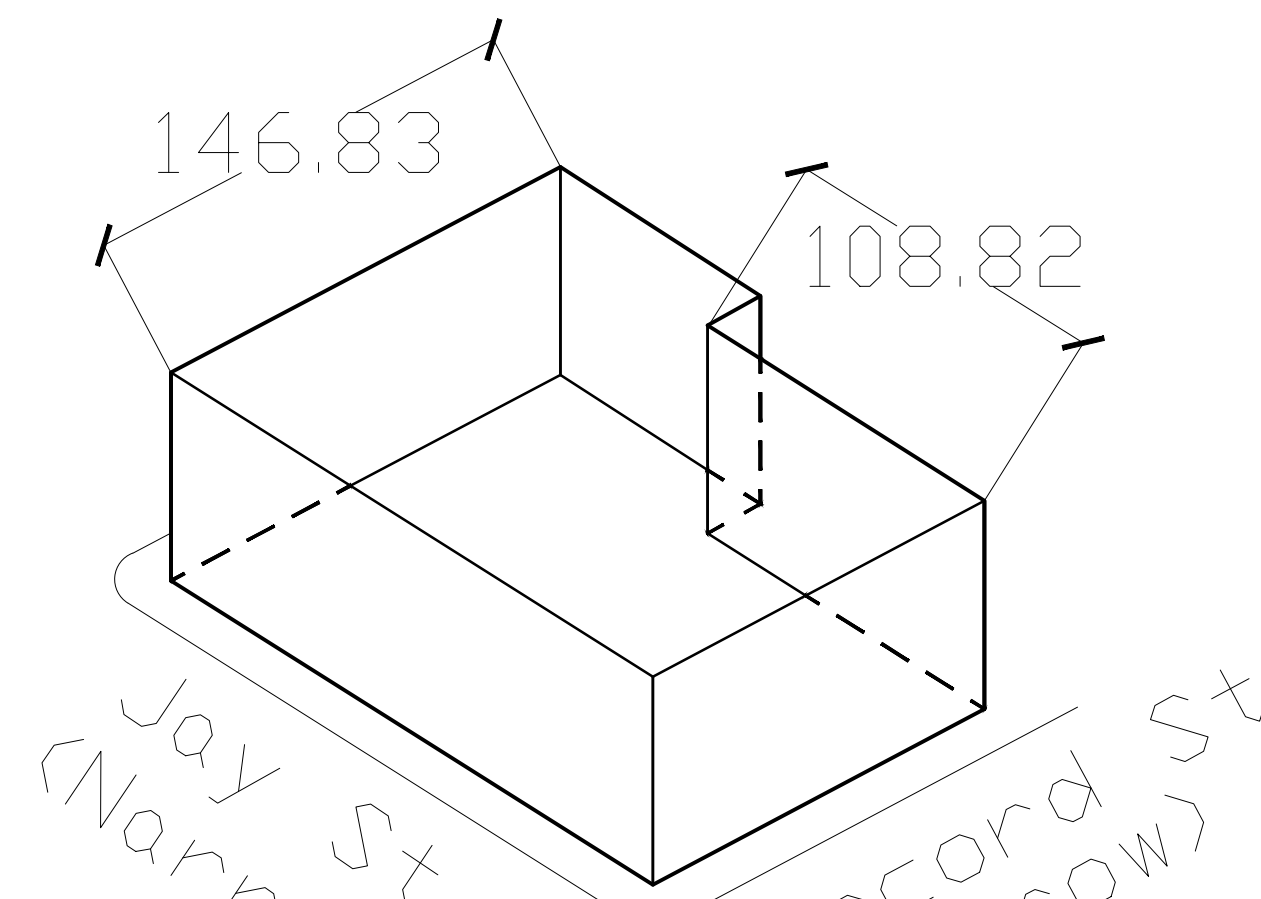
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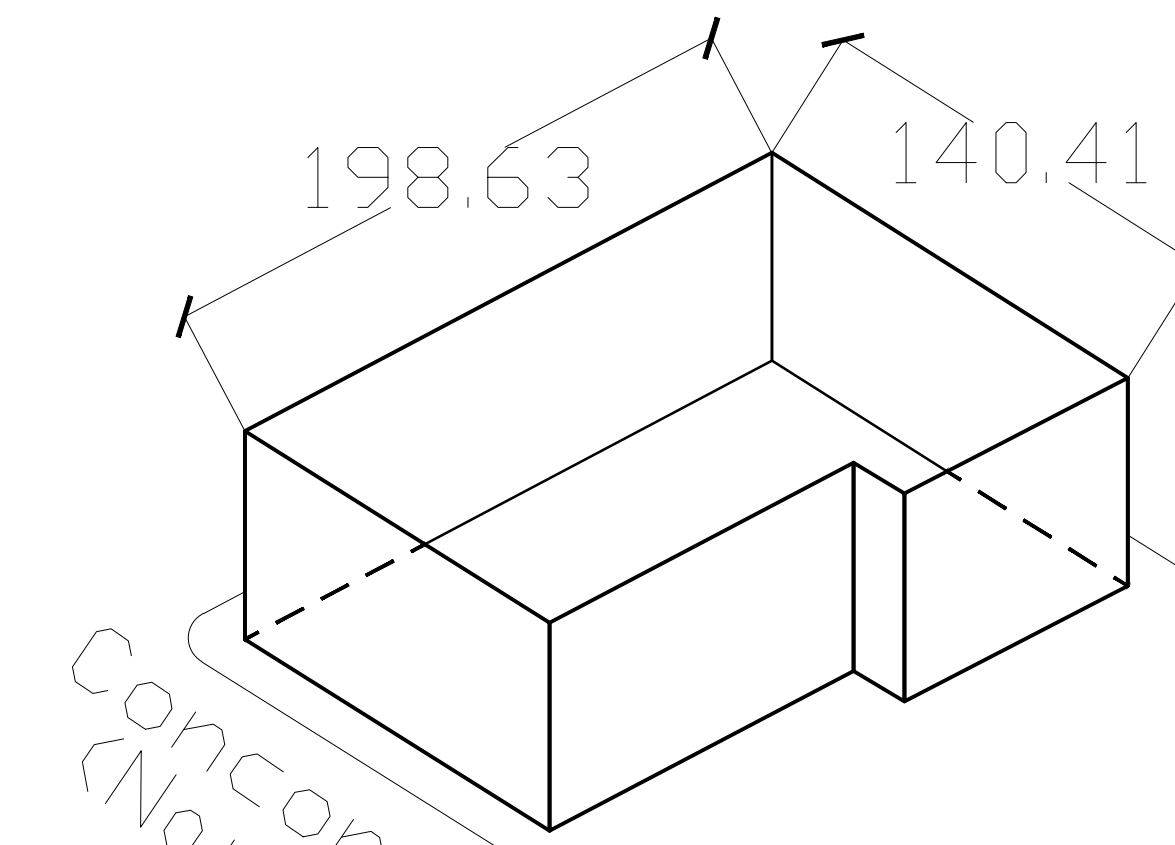
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A-101 3/16" = 1'-0"



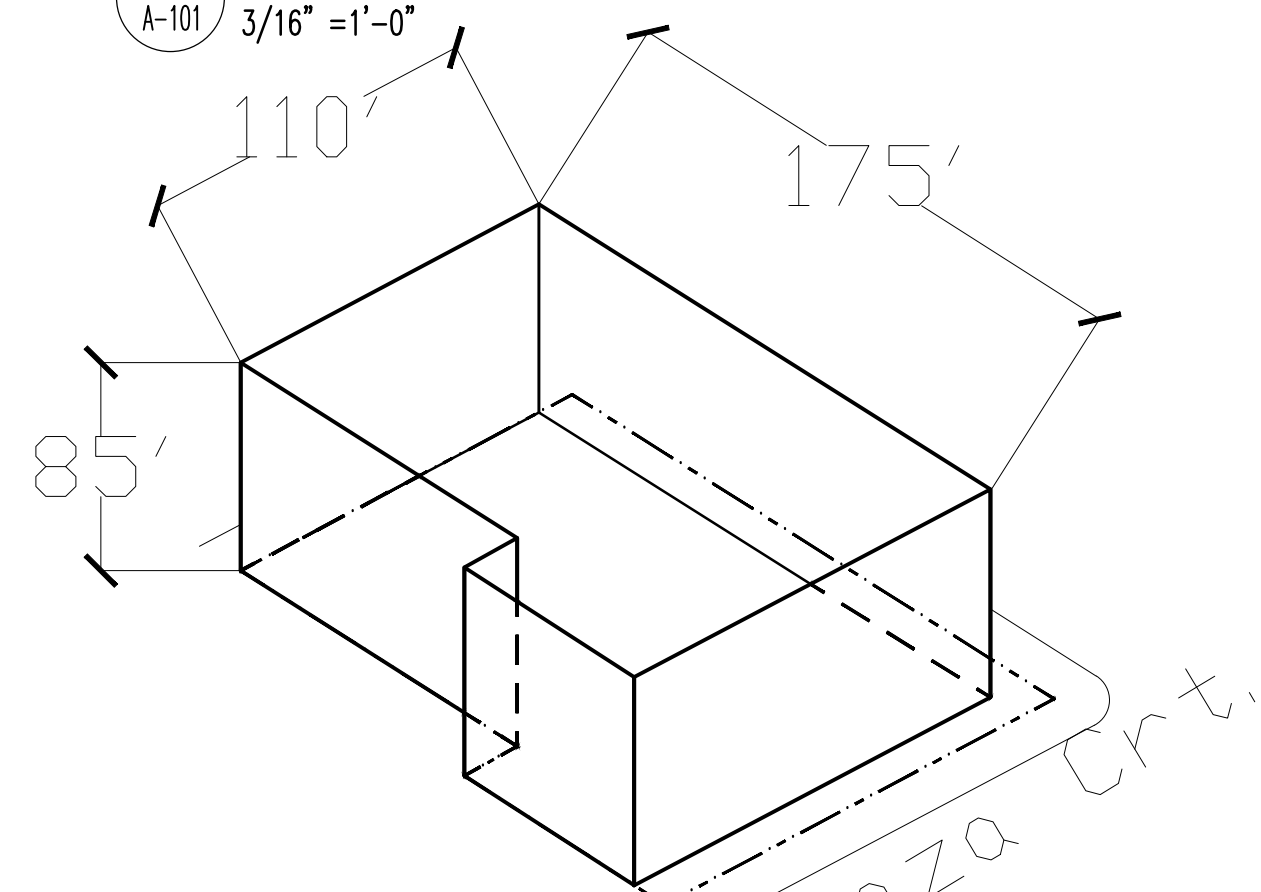
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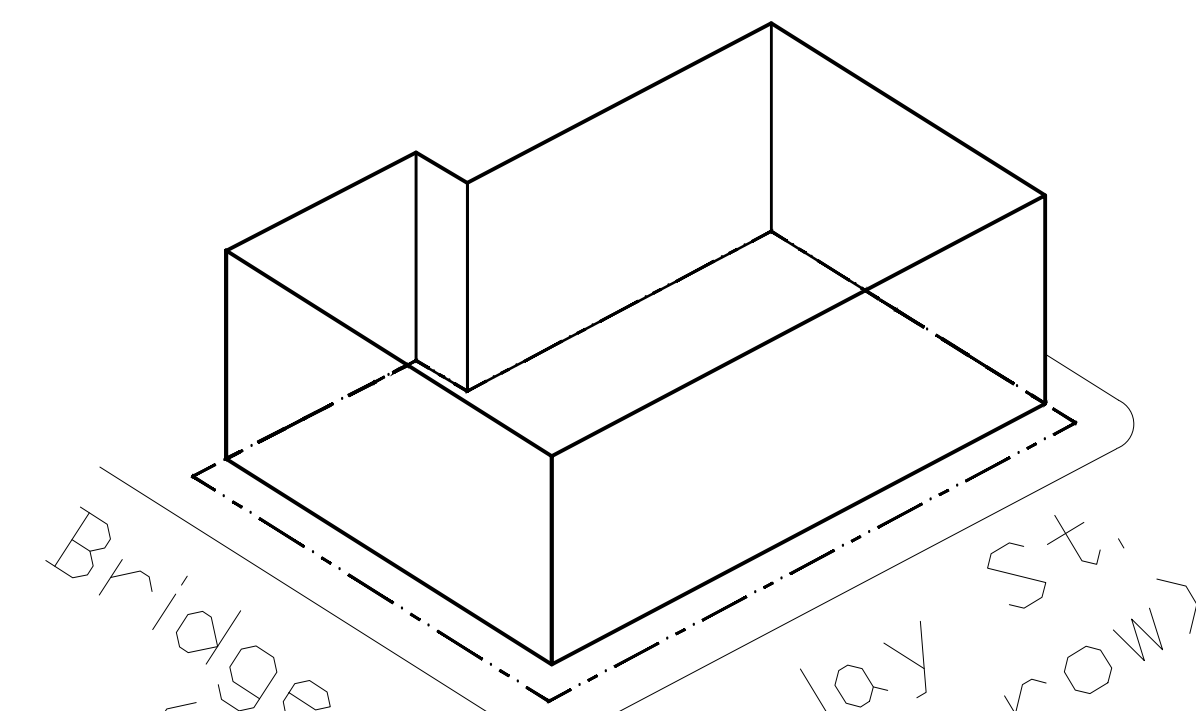
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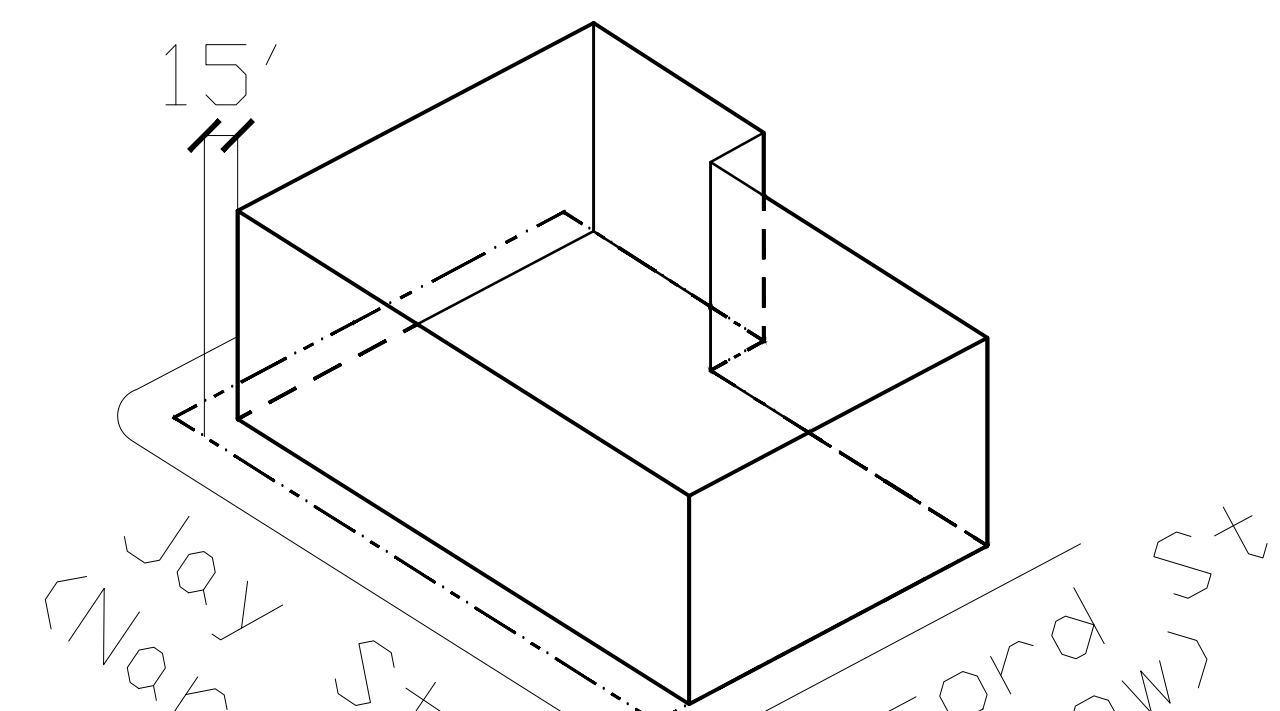
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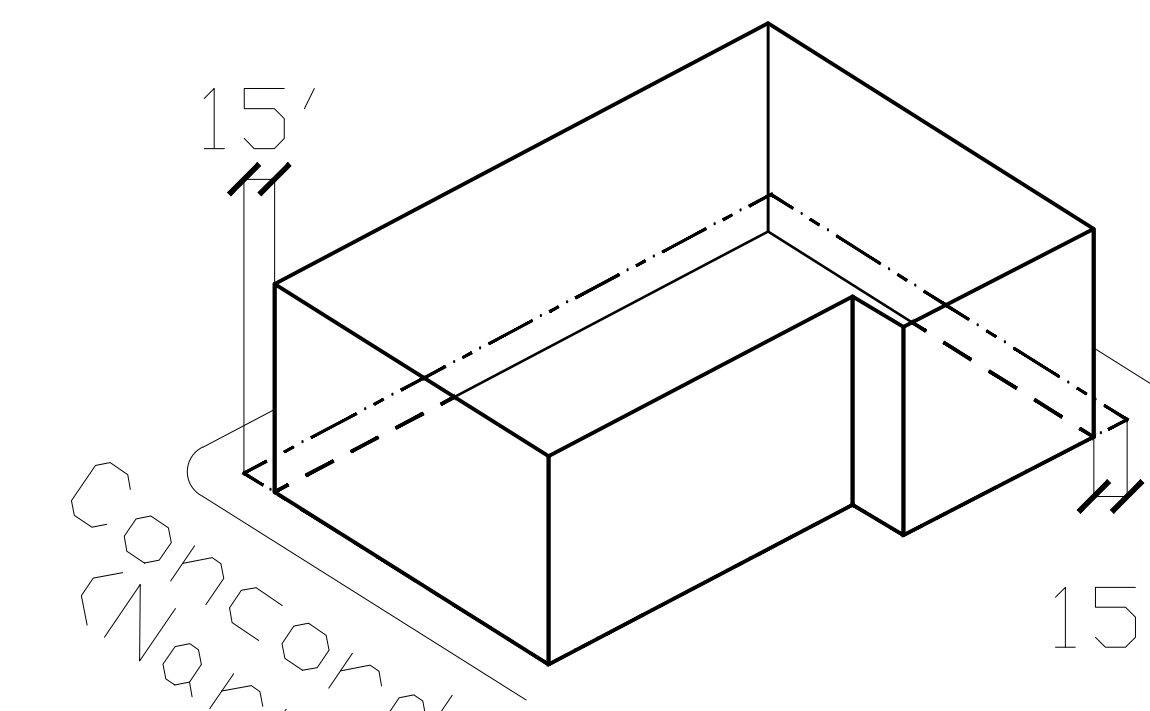
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06 Alternative NorthWest
A-101 3/16" = 1'-0"



07 Alternative SouthWest
A-101 3/16" = 1'-0"



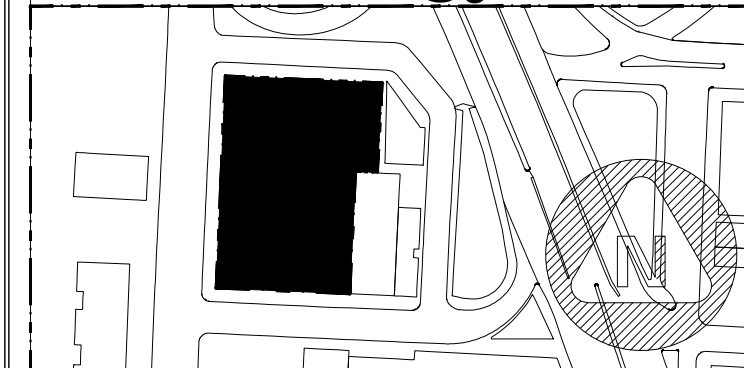
08 Alternative SouthEast Axonometric
A-101 3/16" = 1'-0"



ZONING SHEET

199-201 JAY STREET
BROOKLYN NY 11201

Name: Ngawang Tseten
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Email: Tseten432@gmail.com



No.	Description	Date

ZONING SHEET

1
Issue Date
NEVNHAI, NGAWANG TSETEN
Professor Paul King

A-102.1

(4/30/12)

33-42 Permitted Obstructions

In all #Commercial Districts#, the following obstructions shall be permitted and may thus penetrate a maximum height limit or #sky exposure planes#, as set forth in Sections 33-43 (Maximum Height of Walls and Required Setbacks), 33-44 (Alternate Front Setbacks) or 33-491 (Limited Height Districts):

- (a) Awnings and other sun control devices, provided that when located at a level higher than the first #story#, excluding a #basement#, all such awnings and other sun control devices:
(1) shall be limited to a maximum projection from a #building# wall of 2 feet, 6 inches, except when located on the first #story# above a setback;
(2) shall have solid surfaces that, in aggregate, cover an area no more than 30 percent of the area of the #building# wall (as viewed in elevation) from which they project; and
(3) may rise above the permitted #building# height, up to the height of a parapet wall or guardrail permitted in accordance with Section 33-42 (Permitted Obstructions).

When located on the first #story# above a setback, awnings and other sun control devices shall be limited to a projection of 50 percent of the depth of the required setback, and shall be limited, in total, to 50 percent of the width of the #building# wall from which they project;

- (b) Balconies, unenclosed, subject to the provisions of Section 24-166;
(c) #Building# columns, having an aggregate width equal to not more than 20 percent of the #aggregate width of street walls# of a #building#, to a depth not exceeding 12 inches, in an initial setback distance#, optional front open area, or any other required setback distance or open area set forth in Sections 33-43, 33-44 or 33-45 (Tower Regulations);
(d) Chimneys or flues, with a total width not exceeding 10 percent of the #aggregate width of street walls# of a #building# at any given level;
(e) Decks, and other surfaces for recreational activities, not more than 3 feet, 6 inches in height, as measured from the maximum height limit, or the finished level of the roof as it existed on April 30, 2012, whichever is higher;
(f) Elevator or stair bulkheads (including shafts; and vestibules not larger than 60 square feet in area providing access to a roof), roof water tanks and #accessory# mechanical equipment (including enclosures), other than solar or wind energy systems, provided that:

- (1) such obstructions shall be located not less than 10 feet from the #street wall# of a #building#, except that such obstructions need not be set back more than 25 feet from a #narrow street line# or more than 20 feet from a #wide street line#. However, such stair bulkheads (including shafts or vestibules), provided the #aggregate width of street walls# of such bulkheads within 10 feet of a #street wall#, facing each #street# frontage, times their average height, in feet, does not exceed an area equal to four times the width, in feet, of the #street wall# of the #building# facing such frontage;
(2) all mechanical equipment shall be screened on all sides;
(3) such obstructions and screening are contained within a volume that complies with one of the following:

- (i) the product, in square feet, of the #aggregate width of street walls# of such obstructions facing each #street# frontage, times their average height, shall not exceed an area equal to eight times the width, in feet, of the #street wall# of the #building# facing such frontage; or
(ii) the #lot coverage# of all such obstructions does not exceed 20 percent of the #lot coverage# of the #building#, and where the maximum permitted height of a #building# is less than 120 feet, such obstructions are limited to a maximum height of 25 feet, and where the maximum permitted height of a #building# is 120 feet or greater, such obstructions are limited to a maximum height of 40 feet.

For the purposes of this paragraph, (f), #abutting buildings# on a single #zoning lot# may be considered to be a single #building#;

- (g) Exterior wall thickness, up to eight inches, where such wall thickness is added to the exterior face of a #building# wall existing on April 30, 2012, provided the added wall thickness has a thermal resistance (R-value) of at least 1.5 per inch. Where #buildings# that have added exterior wall thickness pursuant to this Section are #enlarged#, such #enlarged# portion may similarly penetrate a maximum height limit in order to align with the exterior walls of the existing #building#, provided such #enlargement# contains less #floor area# than the existing #building#, and there is no penetration of #floor area# above a maximum height limit;
(h) Flagpoles or arials;
(i) House of worship towers, ornamental, having no #floor area# in portion of tower penetrating such height limit or #sky exposure plane#;
(j) Parapet walls, not more than four feet in height, as measured from the maximum height limit, or the finished level of the roof as it existed on April 30, 2012, whichever is higher. A guardrail with a surface at least 70 percent open or with an opacity of not more than 30 percent (as viewed in elevation), shall be permitted above a parapet wall or within two feet of a parapet wall, provided such guardrail is not more than four feet above the accessible level of a roof. Such restriction on guardrail height shall not apply when located beyond two feet from a parapet wall;
(k) Roof thickness, up to eight inches, to accommodate the addition of insulation, for #buildings# or portions of #buildings# constructed prior to April 30, 2012. For a #building# that has added roof thickness pursuant to this paragraph, an #enlargement# may align with the finished roof surface of such #building#, provided the #enlarged# portion does not exceed the maximum height limit by more than eight inches;
(l) Rooftop greenhouses, permitted pursuant to Section 75-01 (Certification for Rooftop Greenhouses);

- (m) Skylights, clerestories or other daylighting devices, not more than four feet in height, as measured from the maximum height limit, or the finished level of the roof as it existed on April 30, 2012, whichever is higher. Such devices shall be limited to a #lot coverage# not greater than 10 percent of the #lot coverage# of the roof and be located at least eight feet from the #street wall# edge. However, such devices shall not be permitted obstructions above a roof with a slope greater than 20 degrees;

(n) Solar energy systems:

- (1) on the roof of a #building#, up to four feet in height, as measured from the maximum height limit, or the finished level of the roof, whichever is higher;
(2) on the roof of a #building#, greater than four feet in height, as measured from the maximum height limit, or the finished level of the roof, whichever is higher, provided that all such portions above four feet are set back at least six feet from a #street wall#, limited to a #lot coverage# not greater than 25 percent of the #lot coverage# of the roof and do not exceed:
(i) in #Commercial Districts# mapped within R1 through R5 Districts and in C3 and C4-1 Districts, a height of six feet;
(ii) in all other #Commercial Districts# and #Commercial Districts# mapped within R6 through R10 Districts, a height of 15 feet; and
(iii) when located on a bulkhead or other obstruction pursuant to paragraph (f) of this Section, a height of six feet;

- (3) on walls existing on April 30, 2012, projecting no more than 10 inches and occupying no more than 20 percent of the surface area of the #building# wall (as viewed in elevation) from which it projects.
However, any installation on a roof with a slope greater than 20 degrees shall be limited to 18 inches in height, as measured perpendicular to the roof surface;

- (o) Spires or belfries;
(p) Vegetated roofs, not more than 3 feet, 6 inches in height, excluding vegetation, as measured from the maximum height limit, or the finished level of the roof as it existed on April 30, 2012, whichever is higher. On roofs with slopes greater than 20 degrees, vegetated roofs shall be limited to a height of 12 inches measured perpendicular to such roof surface;
(q) Weirs, check dams and other equipment for stormwater management, not more than 3 feet, 6 inches in height, as measured from the maximum height limit, or the finished level of the roof as it existed on April 30, 2012, whichever is higher;
(r) Wind energy systems on portions of #buildings# with a height of 100 feet or greater, provided that:
(1) the highest point of the wind turbine assembly does not exceed 55 feet;
(2) no portion of the wind turbine assembly is closer than 10 feet to any #lot line#; and
(3) in districts where new #residences# or new #joint living work quarters for artists# are allowed as-of-right or by special permit or authorization, or within area of the rotor does not exceed 15 feet;
(s) Window washing equipment mounted on a roof;
(t) Wire, chain link or other transparent fences.

73-36 Physical Culture or Health Establishments

- (a) In C1-8X, C1-9, C2, C4, C5, C6, C8, M1, M2 or M3 Districts, and in certain special districts as specified in the provisions of such special district, the Board of Standards and Appeals may permit #physical culture or health establishments# as defined in Section 12-10, including gymnasiums (not permitted under Use Group 9) or message establishments other than #adult physical culture establishments#, for a term not to exceed ten years, provided the following findings are made:

- (1) that such #use# is so located as not to impair the essential character or the future use or development of the surrounding area; and
(2) that such #use# contains:
(i) one or more of the following regulation size sports facilities: handball courts, basketball courts, squash courts, paddleball courts, racketball courts, tennis courts; or
(ii) a swimming pool of a minimum 1,500 square feet; or
(iii) facilities for classes, instruction and programs for physical improvement, body building, weight reduction, aerobics or martial arts; or
(iv) facilities for the practice of massage by New York State licensed masseurs or masseuses.

Therapeutic or relaxation services may be provided only as #accessory# to programmed facilities as described in paragraphs (a) (2) (i) through (a) (2) (iv) of this Section.

(2/2/11)

33-13 Floor Area Bonus for a Public Plaza

- (b) #Zoning lots# containing only #commercial uses#

In the districts indicated, for #zoning lots# containing only #commercial uses#, for each square foot of #public plaza# provided in accordance with Section 37-70, inclusive, the total #floor area# permitted on that #zoning lot# under the provisions of Section 33-12 for a #commercial use# may be increased as set forth in the following table:

Table with 3 columns: Districts, Permitted Additional Square Feet of #Floor Area# per Square Foot of #Public Plaza#

- (c) #Zoning lots# containing #community facility uses# or both #commercial# and #community facility uses#

In the districts indicated, for #zoning lots# containing only #community facility uses# or both #commercial# and #community facility uses#, for each square foot of #public plaza# provided in accordance with Section 37-70, inclusive, the total #floor area# permitted on that #zoning lot# under the provisions of Section 33-12 may be increased as set forth in the following table:

Table with 3 columns: Districts, Permitted Additional Square Feet of #Floor Area# per Square Foot of #Public Plaza#

33-14 Floor Area Bonus for Arcades

- (b) In the districts indicated, and in C1 or C2 Districts when mapped within an R9 or R10 District, for #zoning lots# containing #community facility uses#, for each square foot of #arcade# provided on a #zoning lot# in accordance with the provisions of Section 37-80, the total #floor area# permitted on that #zoning lot# under the provisions of Section 33-12 for a #zoning lot# containing only #community facility uses# or both #commercial# and #community facility uses# may be increased as set forth in the following table:

Table with 3 columns: Districts, Permitted Additional Square Feet of #Floor Area# per Square Foot of #Arcade#

(4/30/12)

33-25 Minimum Required Side Yards

- C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, no #side yards# are required. However, if an open area extending along a #side lot line# is provided at any level, it shall be either:

- (a) at least eight feet wide at every point; or
(b) at least five feet wide at every point, with an average width of eight feet, such average being the mean of the width of the open area at its narrowest point and its width at its widest point, provided that:

- (1) such widest point shall be on a #street line#;
(2) no portion of a #building# shall project beyond a straight line connecting such two points; and
(3) in the case of a #zoning lot# bounded by a #side lot line# extending from #street# to #street#, such average shall be computed and such open area shall be provided as though each half of such #side lot line# bounded a separate #zoning lot#.

Permitted obstructions pursuant to paragraph (a) of Section 33-23 (Permitted Obstructions in Required Yards or Rear Yard Equivalents), shall be permitted in such open areas.

(12/15/61)

33-30 OTHER SPECIAL PROVISIONS FOR REAR YARDS

- C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, the #rear yard# requirements set forth in Section 33-26 (Minimum Required Rear Yards) shall be modified as set forth in this Section.

(12/15/61)

33-301 Within one hundred feet of corners

- C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, no #rear yard# shall be required within 100 feet of the point of intersection of two #street lines# intersecting at an angle of 135 degrees or less.

(4/30/08)

33-26 Minimum Required Rear Yards

- C1 C2 C3 C4 C5 C6 C7 C8

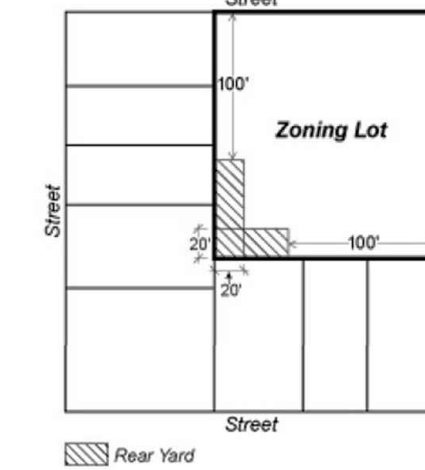
In all districts, as indicated, a #rear yard# with a depth of not less than 20 feet shall be provided at every #rear lot line# on any #zoning lot# except as otherwise provided in Sections 33-27 (Special Provisions for Shallow Interior Lots), 33-28 (Special Provisions for Through Lots) or 33-30 (OTHER SPECIAL PROVISIONS FOR REAR YARDS). #Rear yards# shall also be provided along portions of #side lot lines# as set forth in Section 33-261 (Beyond one hundred feet of a street line).

(4/30/08)

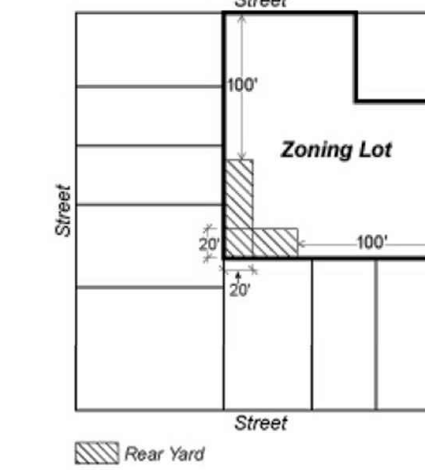
33-261 Beyond one hundred feet of a street line

- C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, for #corner lots#, and for #zoning lots# that are bounded by two or more #streets# that are neither #corner lots# or #through lots#, the portion of a #side lot line# beyond 100 feet of the #street line# that it intersects shall be considered a #rear lot line# and a #rear yard# with a minimum depth of 20 feet shall be provided where such #rear lot line# coincides with a #rear lot line# of an adjoining #zoning lot#.



CORNER LOT (33-261.1, 43-261.1)



ZONING LOT BOUNDED BY TWO OR MORE STREETS (NEITHER A CORNER LOT NOR A THROUGH LOT) (33-261.2, 43-261.1)



ZONING SHEET

199-201 JAY STREET BROOKLYN NY 11201

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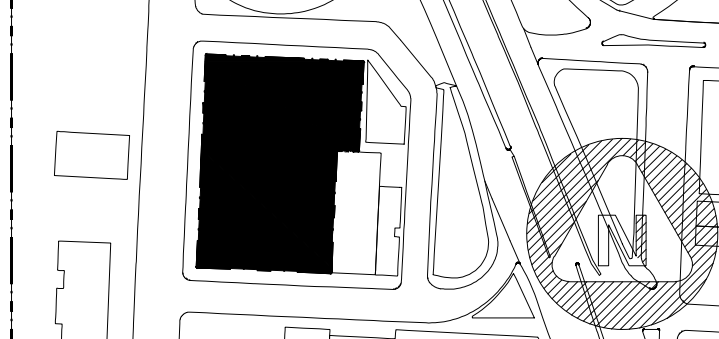


Table with 3 columns: No., Description, Date

ZONING SHEET

1

Issue Date

NEVNHAL NGAWANG TSETEN

Professor Paul King

A-102.1

1/8" = 1'-0"

(2/2/11)

33-43
Maximum Height of Walls and Required Setbacks

C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, if the front wall or other portion of a #building or other structure# is located at the #street line# or within the #initial setback distance# set forth in this Section, the height of such front wall or other portion of a #building or other structure# shall not exceed the maximum height above #curb level# set forth in this Section. Above such specified maximum height and beyond the #initial setback distance#, the #building or other structure# shall not penetrate the #sky exposure plane# set forth in this Section. The regulations of this Section shall apply except as otherwise provided in Sections 33-42 (Permitted Obstructions), 33-44 (Alternate Front Setbacks), 33-45 (Tower Regulations), 33-49 (Special Height Limitations), inclusive, 74-85 (Height and Setback Regulations for Residential Buildings) or 85-04 (Modifications of Bulk Regulations).

(2/2/11)

33-432
In other Commercial Districts

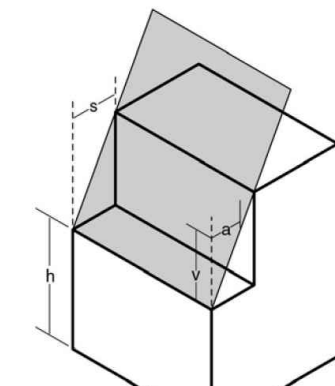
C1-6 C1-7 C1-8 C1-9 C2-6 C2-7 C2-8 C3 C4 C5 C6 C7 C8

(a) In the districts indicated, the maximum height of a front wall and the required front setback of a #building or other structure#, except as otherwise set forth in this Section, shall be as set forth in the following table:

MAXIMUM HEIGHT OF FRONT WALL AND REQUIRED FRONT SETBACKS

#Initial Setback Distance# (in feet)	#Building or Other Structure#	Height above the	#Sky Exposure Plane#	
			On #Narrow Street#	On #Wide Street#
On #Narrow Street#	On #Wide Street#	within the #Initial Setback Distance#	Vertical Distance	Horizontal Distance

Within	C1-7	C1-8	C1-9	C2-7	C2-8	C4-2F	C4-6	C4-7	C5	C6	C8-4
20	15	85 feet or six #stories#, whichever is less	85	2.7 to 1	5.6	to 1					



33-44
Alternate Front Setbacks

C1 C2 C3 C4 C5 C6 C7 C8

In all districts as indicated, if an open area is provided along the full length of the #front lot line# with the minimum depth set forth in this Section, the provisions of Section 33-43 (Maximum Height of Walls and Required Setbacks) shall not apply. The minimum depth of such open area shall be measured perpendicular to the #front lot line#. However, in such instances, except as otherwise provided in Sections 33-42 (Permitted Obstructions), 33-45 (Tower Regulations) or 85-04 (Modifications of Bulk Regulations), no #building or other structure# shall penetrate the alternate #sky exposure plane# set forth in this Section, and the #sky exposure plane# shall be measured from a point above the #street line#.

If the open area provided under the terms of this Section is a #public plaza#, such open area may be counted for the bonus provided for a #public plaza# in the districts indicated in Section 33-13 (Floor Area Bonus for a Public Plaza).

(2/2/11)

33-442
In other Commercial Districts

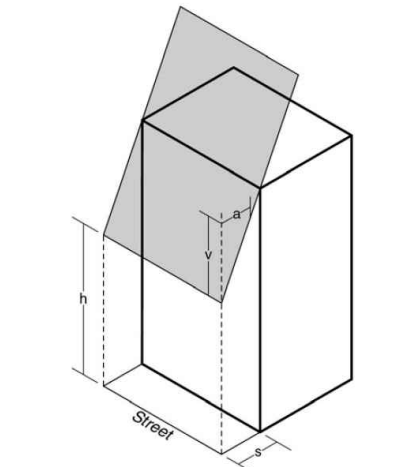
C1-6 C1-7 C1-8 C1-9 C2-6 C2-7 C2-8 C3 C4 C5 C6 C7 C8

In the districts indicated, the alternate front setback regulations applicable to a #building or other structure# shall be as set forth in the following table:

ALTERNATE REQUIRED FRONT SETBACKS

Depth of Optional Front Open Area (in feet)	Alternate #Sky Exposure Plane#				
	Slope over #Zoning Lot# (Expressed as a Ratio of Vertical Distance to Horizontal Distance)				
	On #Narrow Street#		On #Wide Street#		
On #Narrow Street#	On #Wide Street#	Vertical Distance	Horizontal Distance	Vertical Distance	Horizontal Distance

Within	C1-7	C1-8	C1-9	C2-7	C2-8	C4-2F	C4-6	C4-7	C5	C6	C8-4
15	10	85	3.7	to 1	7.6	to 1					



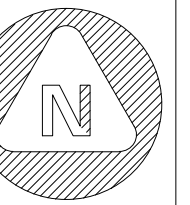
ALTERNATE SKY EXPOSURE PLANE (23-64, 24-53, 33-442, 43-44)



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1

Issue Date

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1/8" = 1'-0"