

Section 23-632

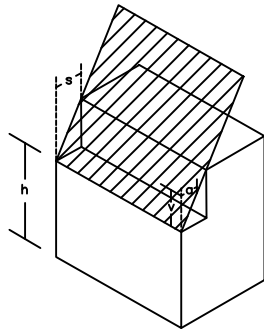
Front setbacks in districts where front yards are not required

Districts: R6, R7, R8, R9, R10

(a) In the districts indicated, excepted for Quality Housing buildings, and except as set forth in paragraph (b) of this Section, if the front wall or other portion of a building or other structure is located at the street line or within the initial setback distance set forth in the following table, the height of such front wall or other portion of a building or other structure shall not exceed the maximum height above the curb level set forth in the following table. Above such specified maximum height and beyond the initial setback distance, the building or other structure shall not penetrate the sky exposure plane set forth in the following table.

MAXIMUM HEIGHT OF FRONT WALL AND REQUIRED FRONT SETBACKS

Initial Setback Distance (in feet)	Maximum Height of a Front Wall or other Portion of a Building or other structure within the Initial Setback Distance	Sky Exposure Plane	Slope over Zoning Lot (expressed as a ratio of vertical distance to horizontal distance)			
			On Narrow Street		On Wide Street	
On Narrow Street	On Wide Street	Height above Street line (in feet)	Vertical Distance	Hori-zontal Distance	Vertical Distance	Hori-zontal Distance
20	15	60 feet or six stories whichever is less	2.7	1	5.6	1
20	15	85 feet or nine stories whichever is less	2.7	1	5.6	1



a-Horizontal Distance s-Initial Setback Distance
h-Height of sky exposure plane above street line v-Vertical Distance
Sky Exposure Plane

Sky Exposure Plane
R6, R7, R8, R9, R10 Districts
(23-632, 24-522, 33-432, 43-43)

R6A, R6B, R7A, R7B, R7D, R7X, R8A, R8B, R8X, R9A, R9D, R9X, R10A, R10X

(b) In the districts indicated, for all buildings or other structures, and for Quality Housing buildings in other R6, R7, R8, R9, R10 Districts, the provisions of this Section and Sections 23-64 (Alternate Front Setbacks) and 23-65 (Tower Regulations) shall be inapplicable. In lieu thereof, the provisions of section 23-633 (Street wall location and height and setback regulations in certain districts) shall apply.

Section 33-122

Commercial buildings in all other Commercial Districts

C1-6, C1-7, C1-8, C1-9, C2-6, C2-7, C2-8, C3, C4, C5, C6, C7, C8

In the districts indicated, the maximum floor area ratio for a zoning lot containing only commercial uses shall not exceed the floor area ratio set forth in the following table:

Districts	Maximum Floor Area Ratio
C3	0.50
C4-1, C8-1	1.00
C1-6, C1-7, C1-8, C1-9, C2-6, C2-7, C2-8, C7, C8-2, C8-3	2.00
C4-2A, C4-3A	3.00
C4-2, C4-2F, C4-3, C4-4, C4-4D, C4-5, C4-6	3.40
C4-4A, C4-4L, C4-5A, C4-5X, C5-1	4.00
C4-5D	4.20
C8-4	5.00
C6-1, C6-2, C6-3	6.00
C6-3D	9.00
C4-7, C5-2, C5-4, C6-4, C6-5, C6-8	10.00
C5-3, C5-5, C6-6, C6-7, C6-9	15.00

Section 33-24

Measurement of Yard Width or Depth

In all commercial Districts, the width or depth of a yard or rear yard equivalent shall be measured perpendicular to lot lines.

Section 33-25

Minimum Required Side Yards

C1, C2, C3, C4, C5, C6, C7, C8

In all districts, as indicated, no side yards are required. However, if an open area extending along a side lot line is provided at any level, it shall be either:

- (a) at least eight feet wide at every point; or
- (b) at least five feet wide at every point, with an average width of eight feet, such average being the mean of the width of the open area at its narrowest point and its width at its widest point, provided that:
 - (1) such widest point shall be on a street line;
 - (2) no portion of a building shall project beyond a straight line connecting such two points; and
 - (3) in the case of a zoning lot bounded by a side lot line extending from street to street, such average shall be computed such open area shall be provided as though each half of such side lot line bounded a separate zoning lot.

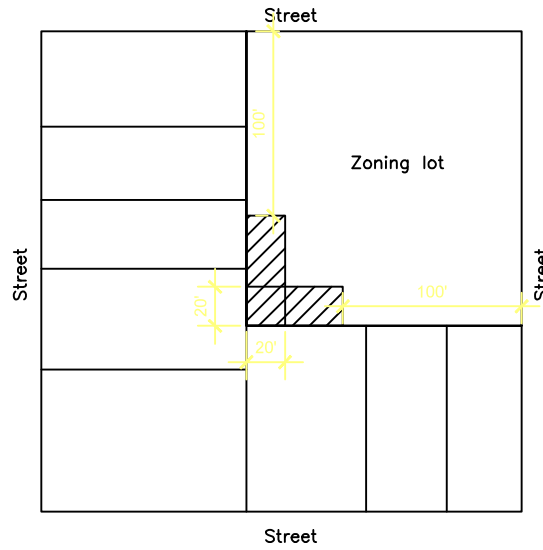
Permitted obstructions pursuant to paragraph (a) of Section 33-23 (Permitted Obstructions in Required Yards or Rear Yard Equivalents), shall be permitted in such open areas.

Section 33-26

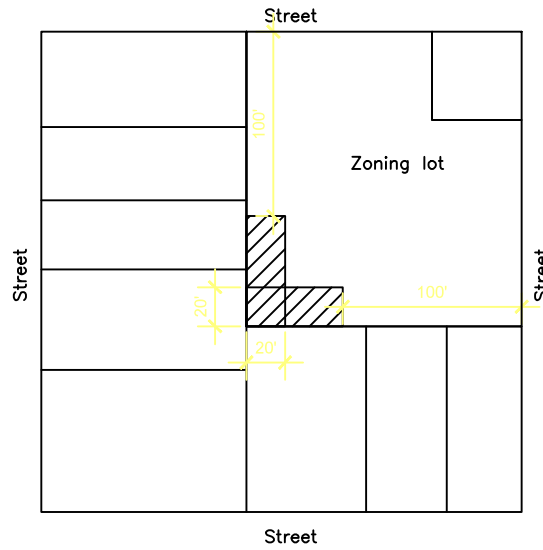
Minimum Required Rear Yards

C1, C2, C3, C4, C5, C6, C7, C8

In all districts, as indicated, for corner lots, and for zoning lots that are bounded by two or more streets that are neither corner lots or through lots, the portion of a side lot line beyond 100 feet of the street line that it intersects shall be considered a rear lot line and a rear yard with a minimum depth of 20 feet shall be provided where such rear lot line of an adjoining zoning lot.



Corner Lot
(33-261.1, 43-261.1)



Zoning Lot Bounded by Two or More Streets
(Neither A Corner Lot Nor A Through Lot)
(33-261.2, 43-261.1)

Article X

**Section 101-22
Special Height and Setback REGULATIONS**

The height of all buildings or other structures shall be measured from the base plane. The provisions of Section 101-221 (Permitted Obstructions) shall apply to all buildings within the Special Downtown Brooklyn District.

In R7-1, C5-4, C6-1 and C6-4 Districts, except C6-1A Districts, the underlying height and setback regulations shall not apply. In lieu thereof, all buildings or other structures shall comply with the provisions of Section 101-222 (Standard height and setback regulations) or, as an option where applicable, Section 101-223 (Tower Regulations). Buildings or other structures within the Flatbush Avenue Extension and Schermerhorn Street Height Limitation Areas shall comply with the provisions of Section 101-30 (SPECIAL PROVISIONS WITHIN HEIGHT LIMITATION AREAS). However, the underlying height and setback regulations shall apply to any Quality Housing building, except that the Quality Housing Program shall not be applicable within any R7-1 District mapped within a C2-4 District.

**Section 101-222
Standard height and Setback Regulations**

In the districts indicated, except C6-1A Districts, a building or other structures shall not exceed the applicable maximum building height set forth in the table in this Section. Furthermore, any portion of a building or structure that exceeds the applicable maximum base height shall be set back at least 10 feet from a wide street line and at least 15 feet from a narrow street line.

MAXIMUM BASE HEIGHTS AND MAXIMUM BUILDING HEIGHTS IN C2-4/R7-1, C5-4, C6-1 AND C6-4 Districts

District	Maximum Base height		Maximum Building Height	
	Beyond 100 feet of a wide street	Within 100 feet of a wide street	Beyond 100 feet of a wide street	Within 100 feet of a wide street
C2-4/ R7-1	85	85	160	160
C5-4, C6-1, C6-4	125	150	185	210
C6-4.5	125	150	250	250

ZONING

Address:
285 JAY STREET
BROOKLYN, NEW YORK

No.	Description	Date

ZONING

Project number	Project Number
Date	05/23/2013
Drawn by	RAFAEL ESPAILLAT
Professor Name	KING
Checked by	Checker
A-101	
Scale	1/64"=1'-0"
Grade	